SITE PLAN DOCUMENTATION

01 DFT APPLICATION





DEVELOPMENT FACILITATION TEAM (DFT) APPLICATIONS

Effective 11/16/2023

| Please check the appropriate box(es) and re time of application. | fer to supplemental | forms for submittal requ | irements. All fees must be paid at the |
|--|-----------------------------|--------------------------------|---|
| MISCELLANEOUS APPLICATIO | NS | Extension of Infrastructu | re List or IIA <i>(Form S3)</i> |
| □ Site Plan Administrative DFT (Forms SP & P2) | | | PRE-APPLICATIONS |
| □ Final EPC Sign-off for Master Development/Site Pl | lans - EPC <i>(Form P2)</i> | □ Sketch Plat Review and | Comment (Form S3) |
| Infrastructure List or Amendment to Infrastructure I | List (Form S3) | Sketch Plan Review and | Comment (Form S3) |
| □ Temporary Deferral of S/W (Form S3) | . , | | APPEAL |
| □ Extension of IIA: Temp. Def. of S/W (Form S3) | | Decision of Site Plan Adr | ninistrative DFT (Form A) |
| BRIEF DESCRIPTION OF REQUEST | | | |
| BREF DESCRIPTION OF REQUEST | | | |
| | | | |
| | | | |
| appurtenances. The facility will be er | hompassed by | a security fence wit | h gate |
| appartenances. The facility will be en | | a secondy lence with | in gato. |
| | | | |
| | | | |
| APPLICATION INFORMATION | | | |
| Applicant/Owner: | | | Phone: |
| Address: | | | Email: |
| City: | | State: | Zip: |
| Professional/Agent (if any): | | | Phone: |
| Address: | | | Email: |
| City: | : | | Zip: |
| Proprietary Interest in Site: | | List all owners: | |
| SITE INFORMATION (Accuracy of the existing lega | al description is crucia | II! Attach a separate sheet i | f necessary.) |
| Lot or Tract No.: | - | Block: | Unit: |
| Subdivision/Addition: | | MRGCD Map No.: | UPC Code: |
| Zone Atlas Page(s): | Existing Zoning: | - 1 | Proposed Zoning |
| # of Existing Lots: | # of Proposed Lots: | | Total Area of Site (Acres): |
| LOCATION OF PROPERTY BY STREETS | • | | |
| Site Address/Street: | Between: | | and: |
| CASE HISTORY (List any current or prior project a | and case number(s) th | at may be relevant to your r | equest.) |
| | | | |
| \frown | | | |
| I certify that the information/Hoave included here and | sent in the required no | tice was complete, true, and a | accurate to the extent of my knowledge. |
| Signature: | | | Date: |
| Printed Name: | | | □ Applicant or □ Agent |
| | | | 1 |

FORM P2

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022

X_SITE PLAN ADMINISTRATIVE – DFT

A Single PDF file of the complete application including all documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u>. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. <u>The PDF shall</u> <u>be organized in the number order below</u>. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- _____1) DFT Application form completed, signed, and dated
- X_{2} 2) Form P2 with all the submittal items checked/marked
- X 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- X_{1} 4) Zone Atlas map with the entire site clearly outlined and labeled
- X_{1} 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- _____ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- _____ 7) Infrastructure List, if required for building of public infrastructure
- 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at): <u>https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf</u>
- X 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): <u>https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-</u>2(D)ClimaticGeographic_Responsiveness.pdf

SUPPORTIVE DOCUMENTATION

- X 10) Completed Site Plan Checklist
- X 11) Letter of authorization from the property owner if application is submitted by an agent
- X 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable
- X 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

- 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone
- 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

- X_{17} 17) Sign Posting Agreement
- X 18) Proof of a <u>Pre-Submittal</u> Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development
 - X Office of Neighborhood Coordination neighborhood meeting inquiry response
 - \underline{X} Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - \underline{X} Completed neighborhood meeting request form(s)
 - NA If a meeting was requested or held, copy of sign-in sheet and meeting notes
 - 19) Required Content of Notice <u>at Submittal</u> per IDO Section 14-16-6-4(K)(1) (not required for an extension)
 - Office of Neighborhood Coordination notice inquiry response
 - Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)
 - ___ Proof of emailed notice to affected Neighborhood Association representatives

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to <u>PLNDRS@cabq.gov</u> prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. <u>The PDF shall be organized in the number order below.</u>

- _____1) DFT Application form completed, signed, and dated
- _____ 2) Form P2 with all the submittal items checked/marked
- _____ 3) Zone Atlas map with the entire site clearly outlined and labeled
- _____ 4) Site Plan and related drawings
- _____ 5) Infrastructure List, if require
- _____ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- _____ 7) Letter of authorization from the property owner if application is submitted by an agent
- _____ 8) Solid Waste Department signature on Site Plan
- 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- _____ 10) Approved Grading and Drainage Plan
- _____ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)



City of Albuquerque Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

| Project Title: ABQ 10MW DC | Hydrology File # TBD |
|---|---|
| Legal Description: See attached for full legal | |
| City Address, UPC, OR Parcel: Not assigned - Daytona RD N | W Albuquerque, NM 87121 (between 94th St NW and 90th St NW) |
| Applicant/Agent: Stantec | Contact: Jack Ammerman |
| Address: 733 Marquette Ave, Minneapolis, MN 55402 | Phone: 810-252-1431 |
| Email: jack.ammerman@stantec.com | |
| Applicant/Owner: Oppidan Holdings, LLC | Contact: Drew Johnson |
| Address: 400 Water Street | Phone: 612-554-1897 |
| Email: drew@oppidan.com | |
| (Please note that a DFT SITE is one that needs Site Plan Ap | pproval & ADMIN SITE is one that does not need it.) |
| TYPE OF DEVELOPMENT: PLAT (#of lots) | RESIDENCE |
| ✓ DFT SITE | ADMIN SITE |
| | |
| RE-SUBMITTAL: YES 🖌 NO | |
| DEPARTMENT: TRANSPORTATION | HYDROLOGY/DRAINAGE |
| Check all that apply under Both the Type of Submittal a | and the Type of Approval Sought: |
| TYPE OF SUBMITTAL: | TYPE OF APPROVAL SOUGHT: |
| ENGINEER/ARCHITECT CERTIFICATION | BUILDING PERMIT APPROVAL |
| PAD CERTIFICATION | CERTIFICATE OF OCCUPANCY |
| CONCEPTUAL G&D PLAN | CONCEPTUAL TCL DFT APPROVAL |
| GRADING & DRAINAGE PLAN | PRELIMINARY PLAT APPROVAL |
| DRAINAGE REPORT | FINAL PLAT APPROVAL |
| DRAINAGE MASTER PLAN | ✓ SITE PLAN FOR BLDG PERMIT DFT |
| CLOMR/LOMR | APPROVAL |
| TRAFFIC CIRCULATION LAYOUT (TCL) | SIA/RELEASE OF FINANCIAL GUARANTEE |
| ADMINISTRATIVE | FOUNDATION PERMIT APPROVAL |
| TRAFFIC CIRCULATION LAYOUT FOR DFT | GRADING PERMIT APPROVAL |
| TRAFFIC IMPACT STUDY (TIS) | SO-19 APPROVAL |
| STREET LIGHT LAYOUT | PAVING PERMIT APPROVAL |
| OTHER (SPECIFY) | GRADING PAD CERTIFICATION |
| | WORK ORDER APPROVAL |
| | CLOMR/LOMR |
| | OTHER (SPECIFY) |

DATE SUBMITTED: 03/08/2024

REV. 09/13/23

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03 FORM SP

FORM SP: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TR 2A PLAT FOR TRACT 2-A AND 2-B AVALON SUBDIVISION UNIT 5 (BEING COMPRISED OF TRACT 2 AVALON SUBDIVISION UNIT 5) CONT 7.9830 AC

| Re | quest Description: Site Plan approval for - | H-90,000 SF Data Center | UPC: 100905814301230101, along Daytona Rd NW and Westpointe 40 |
|----|---|--|---|
| X | <u>Hydrology:</u> | | Business Park |
| | Sensitive Lands Analysis (5-2(C)) Grading and Drainage Plan AMAFCA Bernalillo County NMDOT MRGCD Renée C. Britsetta Hydrology Department | Approved X Approved Approved Approved Approved 03/27/24 Date | x NA NA NA X NA X NA X NA X NA X NA |
| | Transportation: | | |
| | Traffic Circulations Layout (TCL) Traffic Impact Study (TIS) Neighborhood Impact Analysis (NIA) Bernalillo County MRCOG NMDOT MRGCD | Approved Approved Approved Approved Approved Approved Approved | NA NA NA NA NA |
| | Transportation Department | Date | |
| | Albuquerque Bernalillo County Water | r Utility Authority (ABCW | <u>/UA):</u> |
| | Request for Availability submitted?Availability Statement/Serviceability Letter | YesNoN er Number | A |
| | Note: Commitment for service is required | d prior to application approva | l. |
| | ABCWUA | Date | |
| | Infrastructure Improvements Agreement (IIA Solid Waste Department Signature on the F Fire Marshall Signature on the Plan | | NA NA NA |

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TR 2A PLAT FOR TRACT 2-A AND 2-B AVALON SUBDIVISION UNIT 5 (BEING COMPRISED OF TRACT 2 AVALON SUBDIVISION UNIT 5) CONT 7.9830 AC

| Re | quest Description: Site Plan approval for + | /-90,000 SF Data Center | UPC: 100905814301230101, along Daytona Rd NW and Westpointe 40 |
|----|--|---|---|
| | <u>Hydrology:</u> | | Business Park |
| | Sensitive Lands Analysis (5-2(C)) Grading and Drainage Plan AMAFCA Bernalillo County NMDOT MRGCD | Approved Approved Approved Approved Approved Approved Approved Approved | NA NA NA NA NA NA |
| | Hydrology Department | Date | |
| | Transportation: | | |
| | Traffic Circulations Layout (TCL) Traffic Impact Study (TIS) Neighborhood Impact Analysis (NIA) Bernalillo County MRCOG MMDOT MRGCD <u>Emest Amijo</u> Transportation Department | X Approved Approved Approved Approved Approved Approved Approved 3/25/2024 Date | NA X NA |
| | Albuquerque Bernalillo County Water | Utility Authority (ABCV | <u>VUA):</u> |
| | Request for Availability submitted? Availability Statement/Serviceability Lette Note: Commitment for service is required | er Number | IA al. |
| | ABCWUA | Date | |
| | Infrastructure Improvements Agreement (IIA Solid Waste Department Signature on the P Fire Marshall Signature on the Plan | | NA NA NA |

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

Legal Description & Location: TR 2A PLAT FOR TRACT 2-A AND 2-B AVALON SUBDIVISION UNIT 5 (BEING COMPRISED OF TRACT 2 AVALON SUBDIVISION UNIT 5) CONT 7.9830 AC

| Request Description: Site Plan approval for +, | -90,000 SF Data Center | UPC: 100905814301230101, along Daytona Rd NW and Westpointe 40 |
|---|--|---|
| Hydrology: | | Business Park |
| Sensitive Lands Analysis (5-2(C)) Grading and Drainage Plan AMAFCA Bernalillo County NMDOT MRGCD | Approved Approved Approved Approved Approved Approved Approved | NA NA NA NA NA |
| Hydrology Department | Date | |
| Traffic Circulations Layout (TCL) Traffic Impact Study (TIS) Neighborhood Impact Analysis (NIA) Bernalillo County MRCOG NMDOT MRGCD | Approved Approved Approved Approved Approved Approved Approved | NA NA NA NA NA |
| Transportation Department | Date | ///A)- |
| <u>Albuquerque Bernalillo County Water</u> | Utility Authority (ABCM | <u>/UA):</u> |

- Request for Availability submitted?
 Yes ____No ___NA
- Availability Statement/Serviceability Letter Number 240107
- Note: Commitment for service is required prior to application approval.

ABCWUA

<u>4/1/24</u> Date

- Infrastructure Improvements Agreement (IIA*)
 Solid Waste Department Signature on the Plan
 Fire Marshall Signature on the Plan
 Approved
 NA
- * Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

March 15, 2024

Colleen M. Ruiz, PE Stantec 733 Marquette Avenue Suite 1000 Minneapolis MN 55402-2309

RE: Oppidan 10MW DC – Daytona Rd NW Conceptual Grading and Drainage Plans Engineer's Stamp Date: 03/08/24 Hydrology File: K09D026D

PRIOR TO BUILDING PERMIT / WORK ORDER:

Transportation Information Sheet.

Dear Ms. Ruiz:

PO Box 1293 Based upon the information provided in your submittal received 03/08/2024, the Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

Albuquerque

NM 87103

As a reminder, if the

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, <u>jhughes@cabq.gov</u>, 924-3420) 14 days prior to any earth disturbance.

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and

approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

March 15, 2024

Jack Ammerman, P.E Stantec 733 Marquette Ave. Minneapolis, MN 55402

Re: Albuqurqque Data Center Daytona Rd. NW Conceptual Traffic Circulation Layout for DFT Approval Engineer's Stamp 03-08-24 (K09-D026D)

Dear Mr. Ammerman,

The conceptual TCL submittal received 03-11-2023 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. When submitting a TCL for Building Permit Approval, provide the following:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Remove from the TCL sheet all drainage related details.

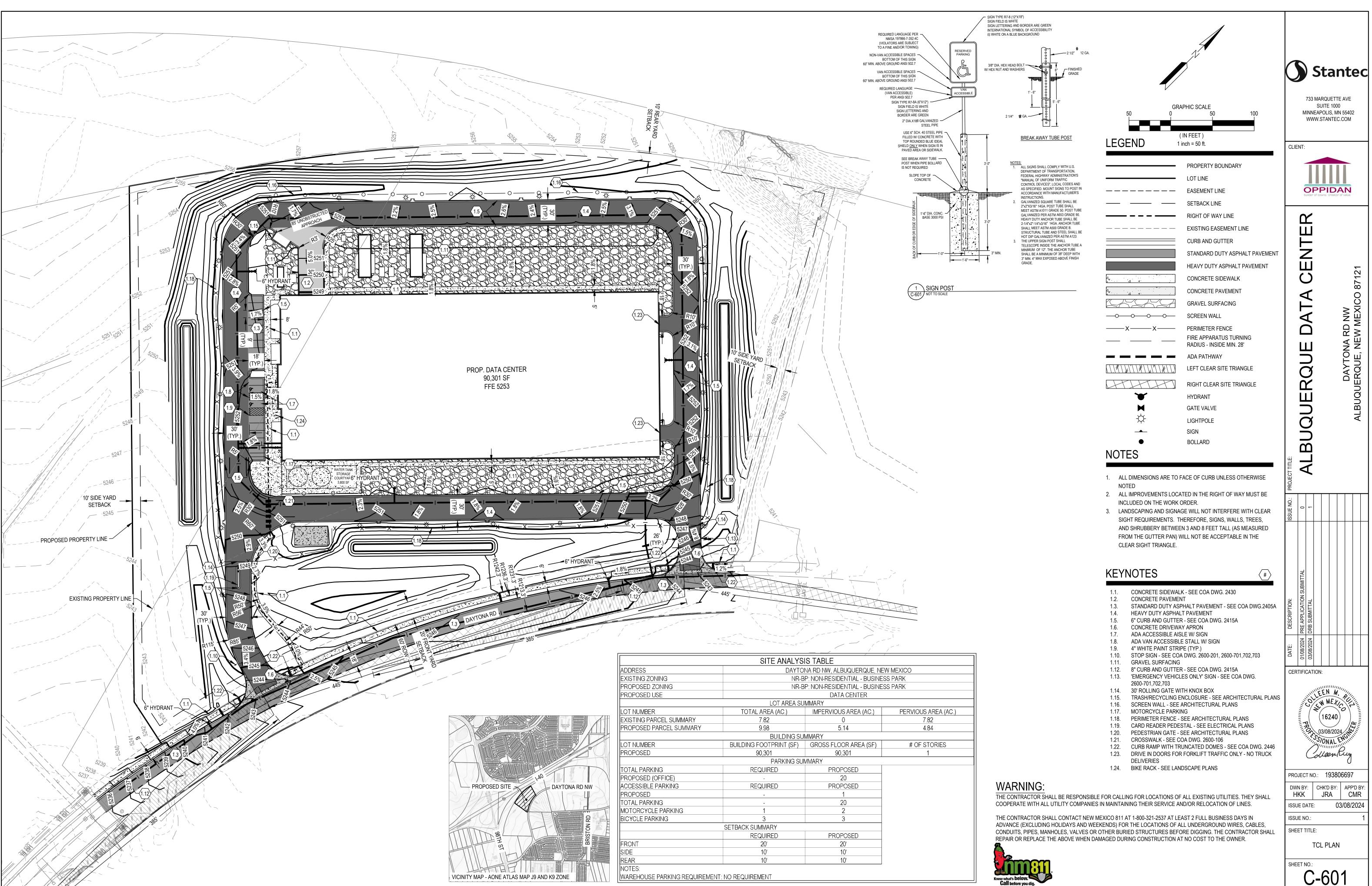
- 2. Show on the site plan both site accesses radii.
- 3. Provide the most recent ADA parking sign. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of signs.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E. Principal Engineer, Planning Dept. Development Review Services



| | SITE ANALYS | S TABLE | | |
|--------------------------------|-------------------------|--|---------------------|--|
| ADDRESS | DAYTO | DAYTONA RD NW, ALBUQUERQUE, NEW MEXICO | | |
| EXISTING ZONING | NR-B | P: NON-RESIDENTIAL - BUSINE | SS PARK | |
| PROPOSED ZONING | NR-B | P: NON-RESIDENTIAL - BUSINE | ISS PARK | |
| PROPOSED USE | | DATA CENTER | | |
| | LOT AREA SU | MMARY | | |
| LOT NUMBER | TOTAL AREA (AC.) | IMPERVIOUS AREA (AC.) | PERVIOUS AREA (AC.) | |
| EXISTING PARCEL SUMMARY | 7.82 | 0 | 7.82 | |
| PROPOSED PARCEL SUMMARY | 9.98 | 5.14 | 4.84 | |
| | BUILDING SU | MMARY | | |
| LOT NUMBER | BUILDING FOOTPRINT (SF) | GROSS FLOOR AREA (SF) | # OF STORIES | |
| PROPOSED | 90,301 | 90,301 | 1 | |
| | PARKING SUI | MMARY | | |
| TOTAL PARKING | REQUIRED | PROPOSED | | |
| PROPOSED (OFFICE) | - | 20 | | |
| ACCESSIBLE PARKING | REQUIRED | PROPOSED | | |
| PROPOSED | - | 1 | | |
| TOTAL PARKING | - | 20 | | |
| MOTORCYCLE PARKING | 1 | 2 | | |
| BICYCLE PARKING | CLE PARKING 3 3 | | | |
| | SETBACK SUMMARY | | | |
| | REQUIRED | PROPOSED | | |
| FRONT | 20' | 20' | | |
| SIDE | 10' | 10' | | |
| REAR | 10' | 10' | | |
| NOTES: | | | | |
| WAREHOUSE PARKING REQUIREMENT: | NO REQUIREMENT | | | |
| | | | | |



City of Albuquerque

Planning Department Development Review Services Division

Traffic Scoping Form (REV 12/2020)

| Project Title:ABQ 10MW DCBuilding Permit #:TBDHydr | ology File #: TBD |
|--|--|
| Zone Atlas Page: <u>J9&K9</u> DRB#: <u>TBD</u> EPC#: <u>N/A</u> Work | K Order#: TBD |
| Legal Description: See attached for full legal | |
| City Address: Not assigned - Daytona RD NW Albuquerque, NM 87121 (between 94th St N | NW and 90th St NW) |
| Applicant: Oppidan Holdings, LLC Contac | t: Drew Johnson |
| Address: 400 Water Street | |
| Phone#: 612-554-1897 Fax#: E-mail | : drew@oppidan.com |
| Agent for Applicant - Jack Ammerman, Stantec - jack.ammerman@stantec | c.com - 810-252-1431 |
| Development Information | |
| Build out/Implementation Year: 612-554-1897 Current/Proposed Zoning: N | R-BP |
| Project Type: New: (X) Change of Use: () Same Use/Unchanged: () Same Use/Incre | ased Activity: () |
| Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: (|) |
| Describe development and Uses: Approximately 90,000 SF 10MW Data Center with a approximately 6,800 SF office component | IN |
| Days and Hours of Operation (if known): 24/7 | |
| <u>Facility</u> | |
| Building Size (sq. ft.): Approximately 90,000 SF | |
| Number of Residential Units: None | |
| Number of Commercial Units: None | |
| Traffic Considerations Expected Number of Daily Visitors/Patrons (if known):* | ITE Land Use #150, Warehousing Trip generation |
| | AM 34 trips per hour |
| Expected Number of Employees (if known):* 10-12 during any peak period | PM 37 trips per hour |
| Expected Number of Delivery Trucks/Buses per Day (if known):* 1-2 deliveries per day | |
| Trip Generations during PM/AM Peak Hour (if known):* 1-2 deliveries per day | |
| Driveway(s) Located on: Street Name Daytona Road NW | |

Adjacent Roadway(s) Posted Speed: Street Name Daytona Road NW Street Name Posted Speed Unknown - 35mph? Posted Speed Posted Speed

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)

| Comprehensive Plan Corridor Designation/ | Functional Classification: Proposed Major Collector |
|--|--|
| (arterial, collecttor, local, main street) | |
| Comprehensive Plan Center Designation: | None |
| Jurisdiction of roadway (NMDOT, City, Co | ounty): City |
| Adjacent Roadway(s) Traffic Volume: 2,5 | 526 Daily Volume Volume-to-Capacity Ratio: |
| Adjacent Transit Service(s): | Nearest Transit Stop(s):Rapid Ride 766 Stop |
| Is site within 660 feet of Premium Transit?: | No |
| Current/Proposed Bicycle Infrastructure: | None |
| · | Proposed sidewalk on both sides of Daytona Rd NW extension |

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <u>http://www.cabq.gov/gis/advanced-map-viewer</u>

Comprehensive Plan Corridor/Designation: <u>https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use</u> (map after Page 5-5)

Road Corridor Classification: <u>https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId</u>=

Traffic Volume and V/C Ratio: https://www.mrcog-nm.gov/285/Traffic-Counts and https://public.mrcog-nm.gov/taqa/

Bikeways: <u>http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf</u> (Map Pages 75 to 81)

TIS Determination

<u>Note:</u> Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No 🖌 Borderline []

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: Previously Studied: []

Notes: Development site is within the Westpointe TIS Phase 2, HT#K09D041. No addition traffic study required.

MPMP.E.

1/5/2024

TRAFFIC ENGINEER

DATE

<u>Submittal</u>

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

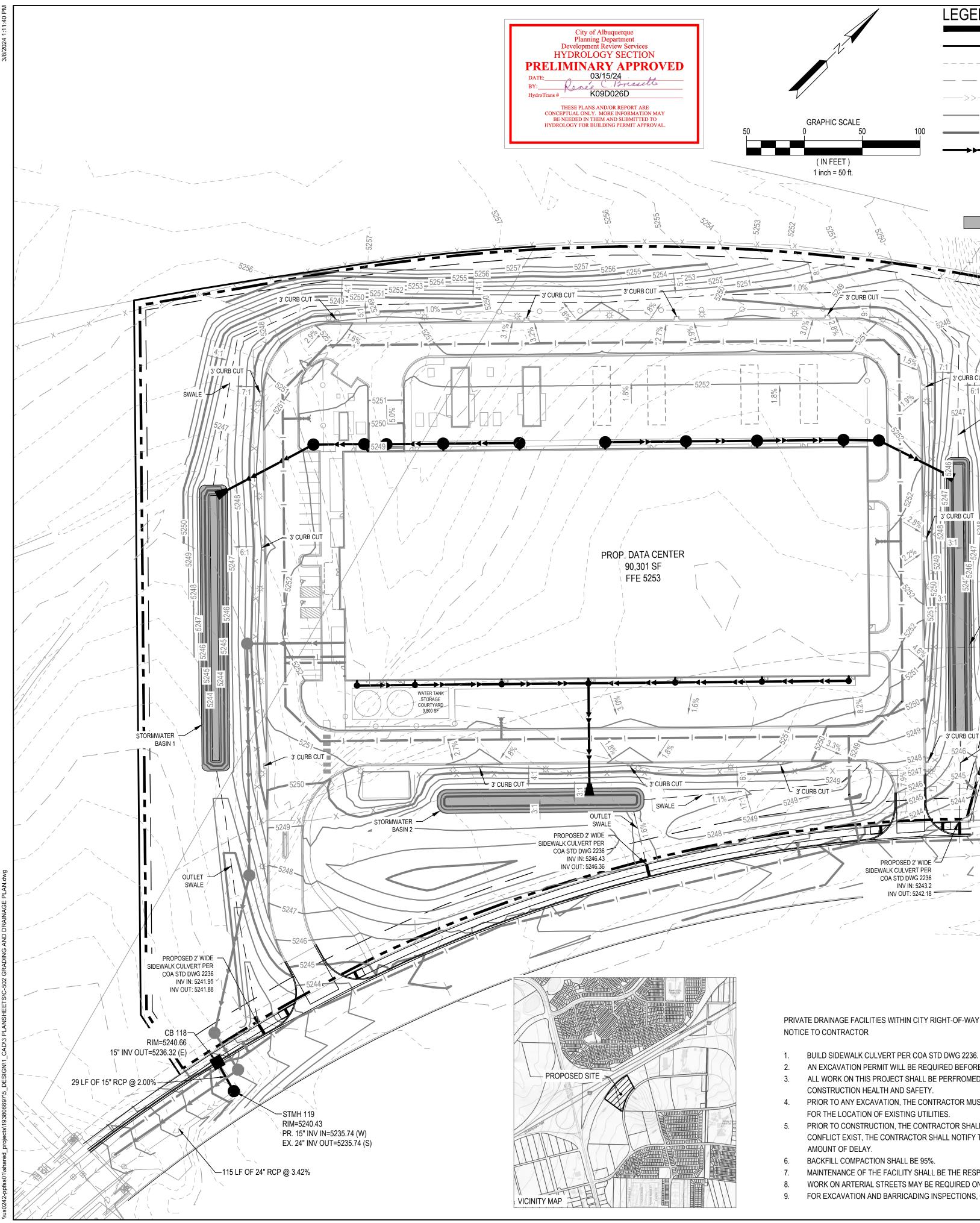
Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

- 1. Access -- location and width of driveways
- 2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
- 3. Bike Lanes (check for designated bike routes, long range bikeway system) <u>(check MRCOG Bikeways and Trails in the</u> 2040 MTP map)
- 4. Location of nearby multi-use trails, if applicable (check MRCOG Bikeways and Trails in the 2040 MTP map)
- 5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
- 6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
- 7. Distance from access point(s) to nearest adjacent driveways/intersections.
- 8. Note if site is within a Center and more specifically if it is within an Urban Center.
- 9. Note if site is adjacent to a Main Street.
- 10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

Legal Description Per Plat: TRACT NUMBERED TWO (2) OF AVALON SUBDIVISION UNIT 5, A SUBDIVISION OF A TRACT OF LAND LOCATED WITHIN PROJECTED SECTIONS 16 AND 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. TOWN OF ATRISCO GRANT, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 22, 2014, IN PLAT BOOK 2014C, PAGE 46.

Legal Description Per CABQMAPS: TR 2A PLAT FOR TRACT 2-A AND 2-B AVALON SUBDIVISION UNIT 5(BEING COMPRISED OF TRACT 2 AVALON SUBDIVISION UNIT 5)CONT 7.9830 AC



LEGEND

3' CURB CU

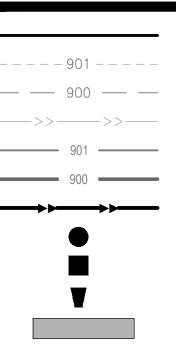
' CURB CL

3' CURB CU

_ _ _ _ _ _ _

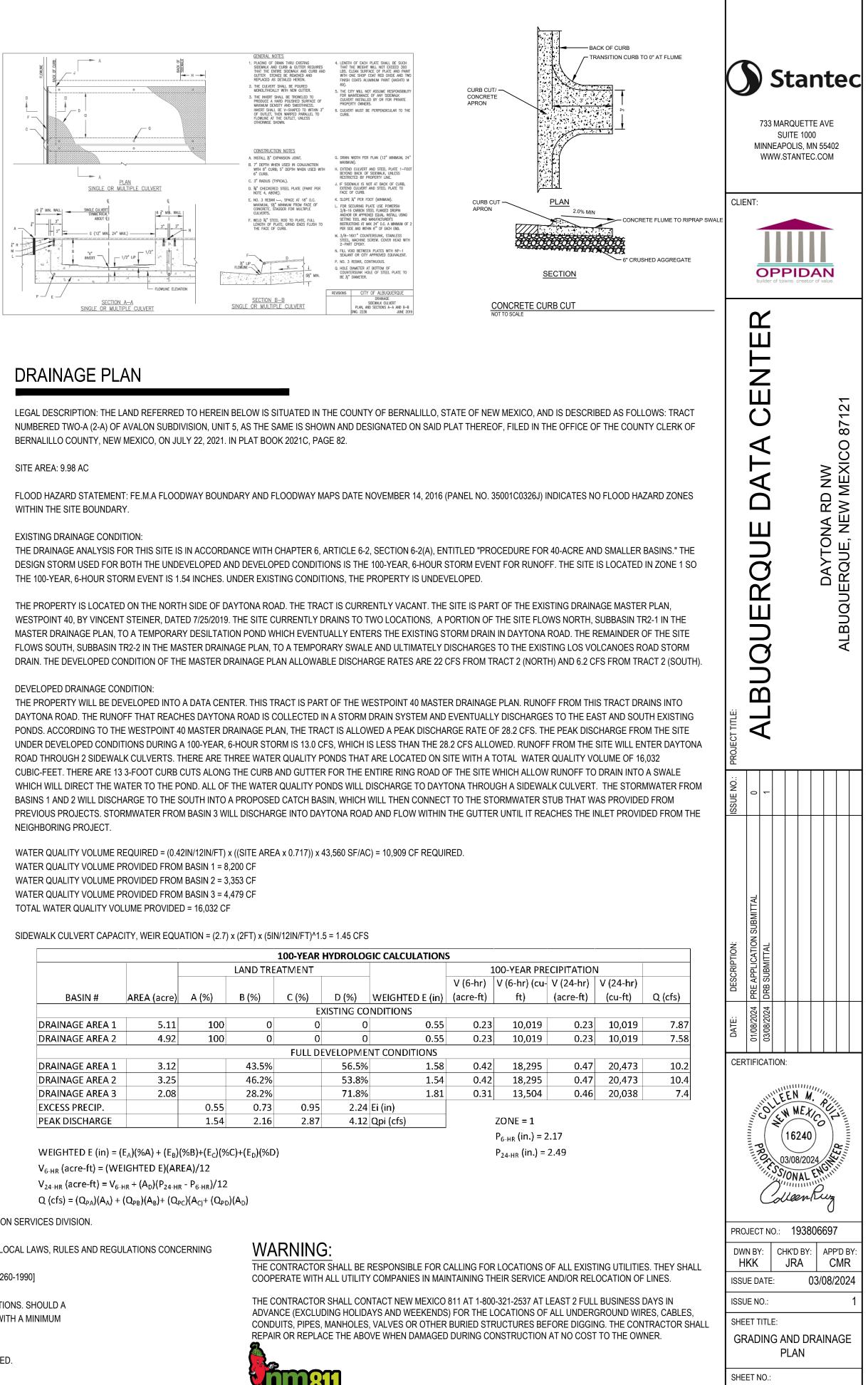
OUTI F

SWALE



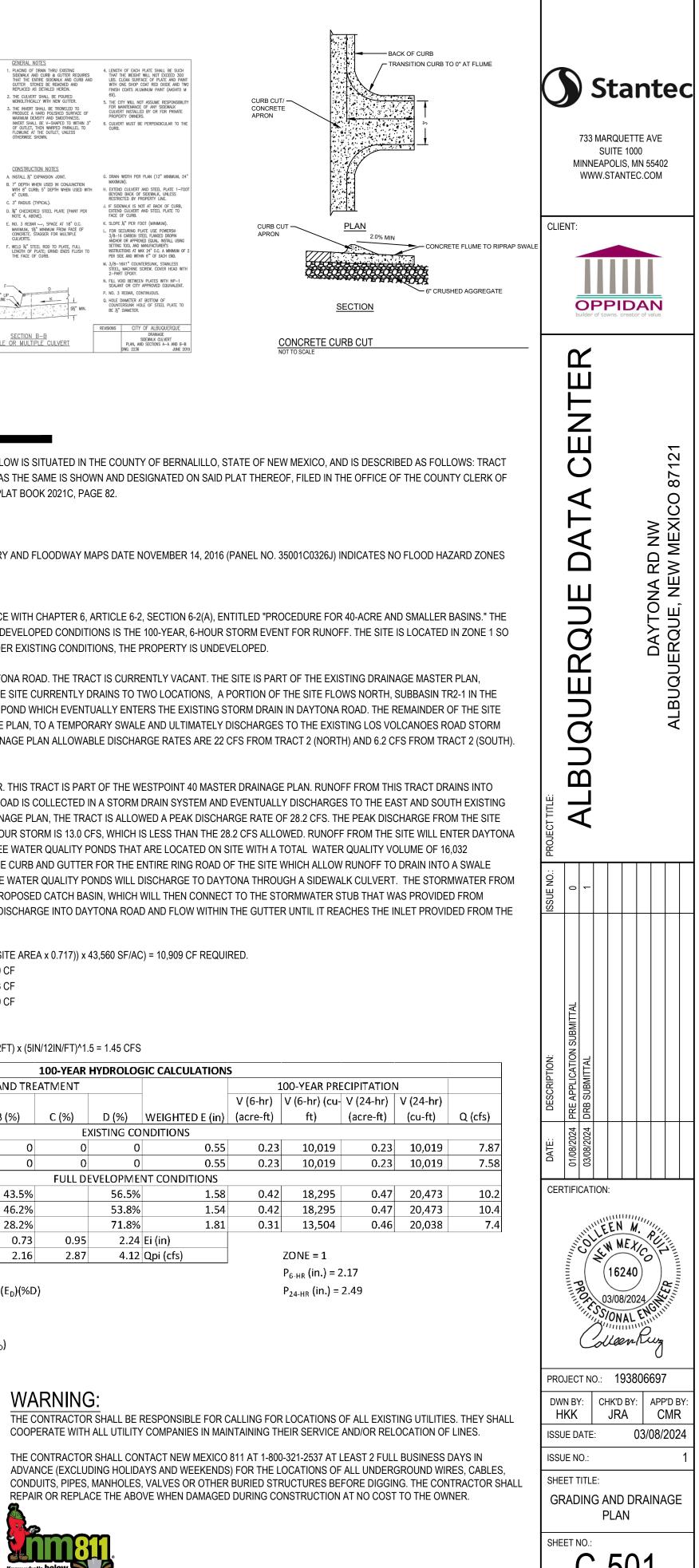
PROPERTY BOUNDARY EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING STORM SEWER PROPOSED MINOR CONTOUR PROPOSED MAJOR CONTOUR STORM SEWER STORM MANHOLE STORM CATCH BASIN FLARED END SECTION

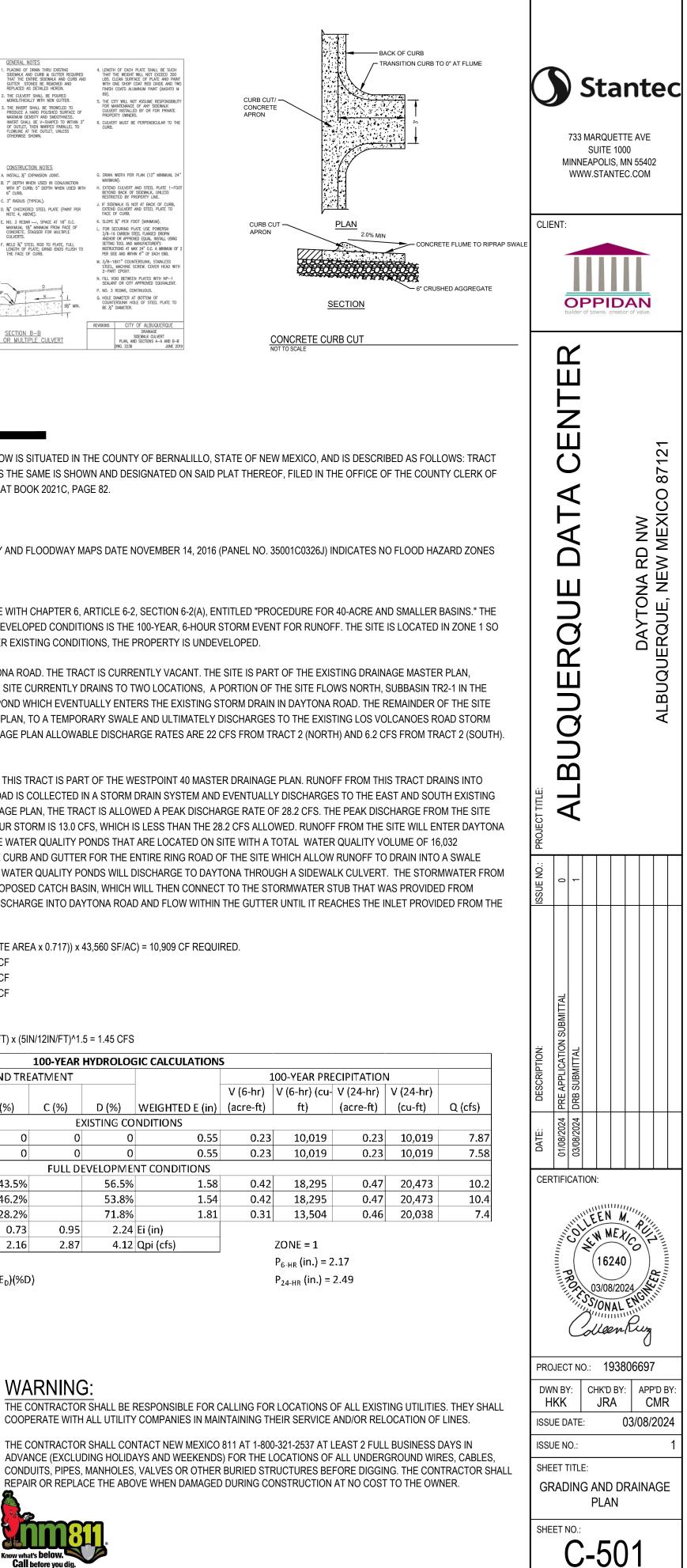
POND AREA



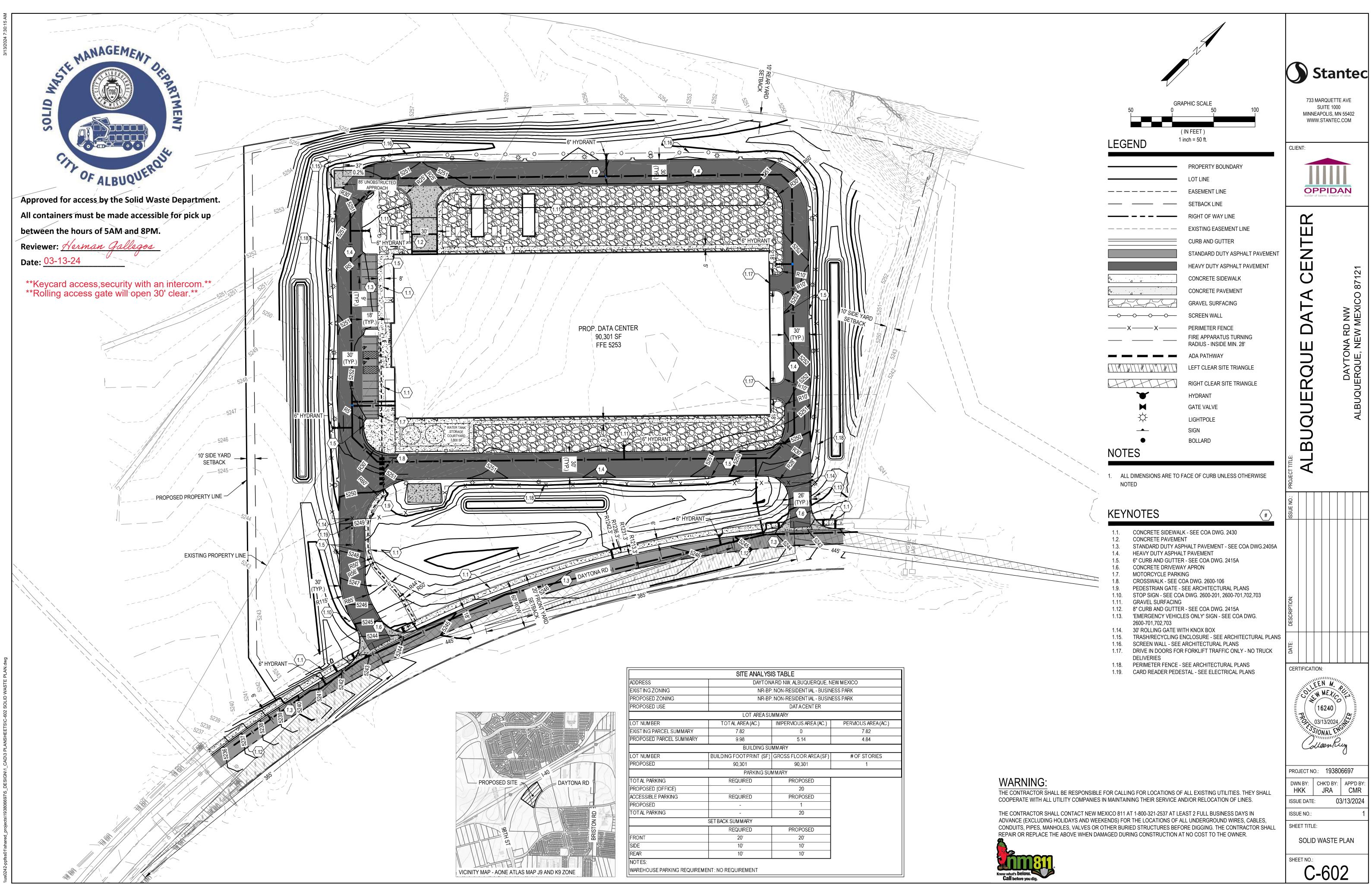
| | | | LAND TRE |
|-----------------|-------------|-------|----------|
| | | | |
| BASIN # | AREA (acre) | A (%) | B (%) |
| | | | |
| DRAINAGE AREA 1 | 5.11 | 100 | 0 |
| DRAINAGE AREA 2 | 4.92 | 100 | 0 |
| | | | |
| DRAINAGE AREA 1 | 3.12 | | 43.5% |
| DRAINAGE AREA 2 | 3.25 | | 46.2% |
| DRAINAGE AREA 3 | 2.08 | | 28.2% |
| EXCESS PRECIP. | | 0.55 | 0.73 |
| PEAK DISCHARGE | | 1.54 | 2.16 |

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFROMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION HEALTH AND SAFETY.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES

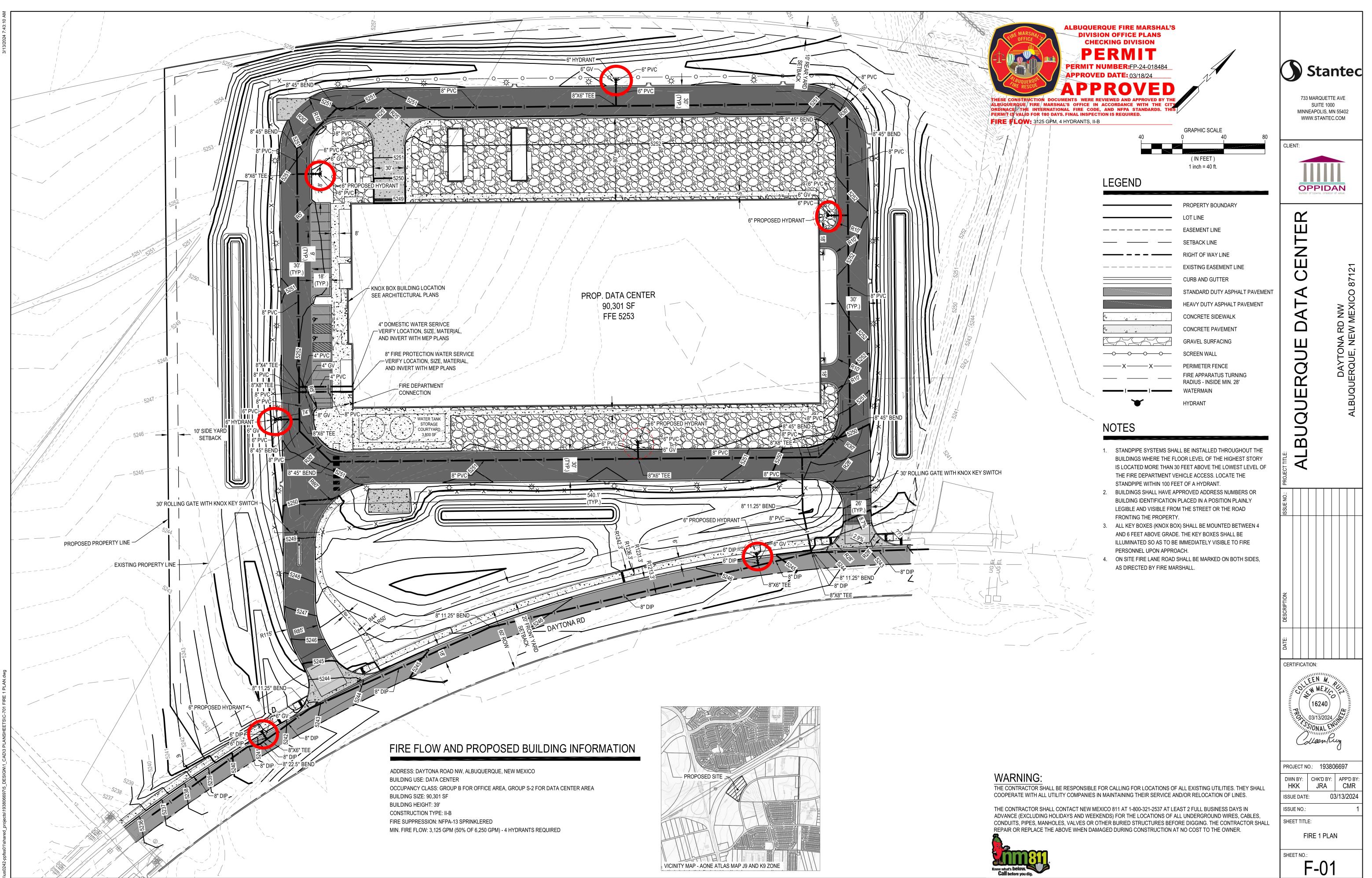




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|--------------|---|---|------|---|---|
| hat's bei | | | dig. | U | |



| | SITE ANALYS | IS TABLE | |
|-----------------------------|--------------------------|-------------------------|---------------------|
| ADDRESS | DAYTON | ARD NW, ALBUQUERQUE, N | EWMEXICO |
| EXIST ING ZONING | NR-BP | NON-RESIDENTIAL - BUSIN | ESS PARK |
| PROPOSED ZONING | NR-BP | NON-RESIDENTIAL - BUSIN | ESS PARK |
| PROPOSED USE | | DATACENTER | |
| | LOT AREA SU | IMMARY | |
| LOT NUMBER | TOTAL AREA (AC.) | IMPERVIOUS AREA (AC.) | PERVIOUS AREA (AC.) |
| EXIST ING PARCEL SUMMARY | 7.82 | 0 | 7.82 |
| PROPOSED PARCEL SUMMARY | 9.98 | 5.14 | 4.84 |
| | BUILDING SU | MMARY | |
| LOT NUMBER | BUILDING FOOT PRINT (SF) | GROSS FLOOR AREA (SF) | # OF ST ORIES |
| PROPOSED | 90,301 | 90,301 | 1 |
| | PARKING SU | MMARY | |
| TOTAL PARKING | REQUIRED | PROPOSED | |
| PROPOSED (OFFICE) | - | 20 | |
| ACCESSIBLE PARKING | REQUIRED | PROPOSED | |
| PROPOSED | - | 1 | |
| TOTAL PARKING | - | 20 | |
| | SET BACK SUM MARY | | |
| | REQUIRED | PROPOSED | |
| FRONT | 20' | 20' | |
| SIDE | 10' | 10' | |
| REAR | 10' 10' | | |
| NOTES: | | · | |
| WAREHOUSE PARKING REQUIREME | NT: NO REQUIREMENT | | |
| L | | | |



05 SITE PLAN AND RELATED DRAWINGS

PRELIMINARY CONSTRUCTION PLANS FOR

ENGINEER



STANTEC CONSULTING SERVICES, INC. 733 MARQUETTE AVE, SUITE 1000 MINNEAPOLIS, MN 55402. PROJECT MANAGER: JACK AMMERMAN, (E) - JACK.AMMERMAN@STANTEC.COM ENGINEER OF RECORD: COLLEEN RUIZ, P.E. (E) - COLLEEN.RUIZ@STANTEC.COM

LANDSCAPE ARCHITECT



STANTEC CONSULTING SERVICES, INC. 70 NE LOOP 410, SUITE 1116 SAN ANTONIO, TX 78216-5893 (E) - COLT.YOREK@STANTEC.COM CONTACT: COLT YOREK, PLA, ASLA, ENV SP

CLIENT



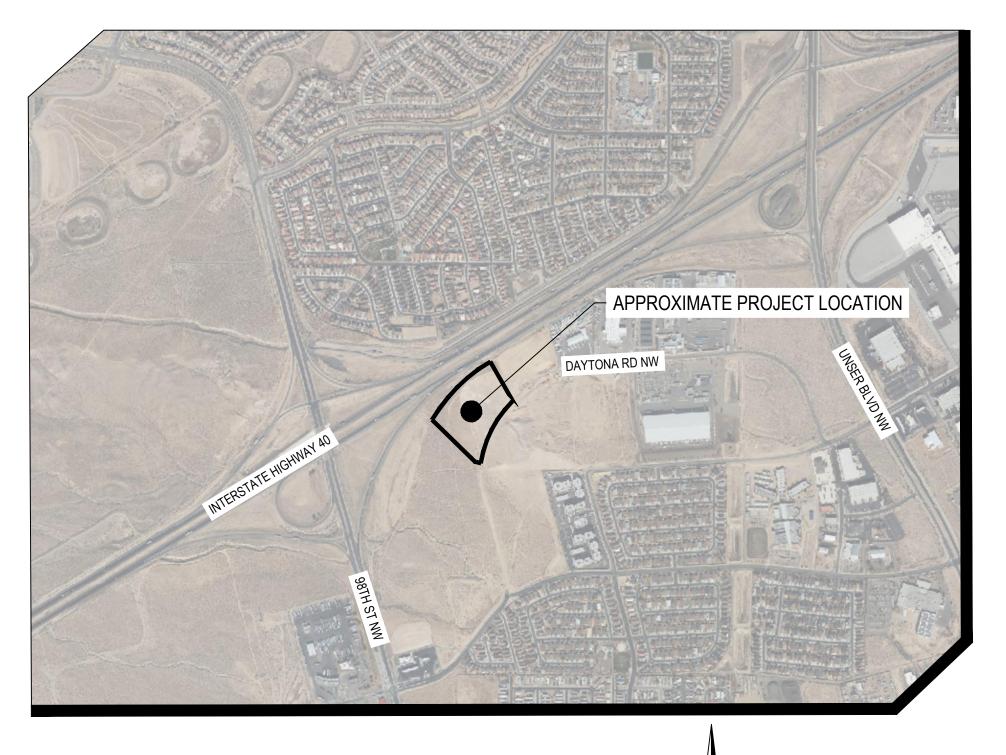
OPPIDAN INVESTMENT COMPANY 400 WATER STREET, SUITE 200 EXCELSIOR, MN 55331 (E) - DREW@OPPIDAN.COM CONTACT: DREW JOHNSON

ARCHITECT

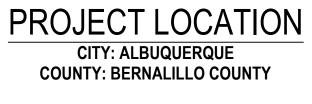


SALAS O'BRIEN 10202 5TH AVENUE NE, SUITE 300 SEATTLE, WA 98125 (E) - BRENDA.ROSS@SALASOBRIEN.COM CONTACT: BRENDA ROSS NCARB, AIA, LEED AP

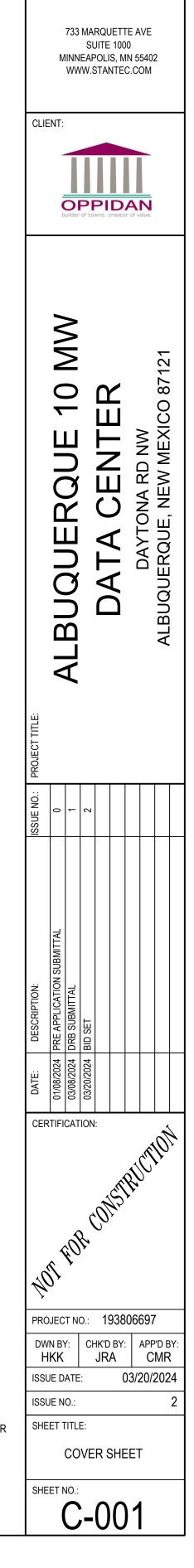
ALBUQUERQUE 10 MW DATA CENTER DAYTONA RD NW, ALBUQUERQUE, NEW MEXICO **MARCH 2024**



| | SHEET LIST TABLE | | |
|--------------|---|--|--|
| SHEET NUMBER | SHEET TITLE | | |
| C-001 | COVER SHEET | | |
| C-002 | GENERAL NOTES | | |
| C-003 | GENERAL NOTES | | |
| C-004 | EXISTING CONDITIONS | | |
| C-005 | REMOVALS AND PRECONSTRUCTION EROSION CONTROL PLAN | | |
| C-101 | SITE PLAN | | |
| C-102 | TCL PLAN | | |
| C-103 | SOLID WASTE PLAN | | |
| C-201 | POST-CONSTRUCTION STABILIZATION PLAN | | |
| C-301 | GRADING PLAN | | |
| C-401 | UTILITY PLAN | | |
| C-402 | FIRE 1 PLAN | | |
| C-501 | STORM SEWER PLAN | | |
| C-502 | GRADING AND DRAINAGE PLAN | | |
| C-801 | DETAILS | | |
| C-802 | DETAILS | | |
| C-803 | DETAILS | | |
| C-804 | DETAILS | | |
| C-805 | DETAILS | | |
| C-806 | DETAILS | | |
| C-807 | DETAILS | | |
| C-808 | DETAILS | | |
| C-809 | DETAILS | | |
| C-810 | DETAILS | | |
| L-101 | LANDSCAPE PLAN | | |
| L-801 | LANDSCAPE REQUIREMENTS | | |
| L-802 | LANDSCAPE DETAILS | | |
| L-803 | LANDSCAPE DETAILS | | |
| L-804 | LANDSCAPE DETAILS | | |







Stantec

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT NM11 (811 OR 1-800-321-2537) AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER



GOVERNING SPECIFICATIONS

- 1. CITY OF ALBUQUERQUE (CITY) STANDARD SPECIFICATIONS AND REQUIREMENTS.
- 2. NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) "STANDARD SPECIFICATIONS FOR HIGHWAY AND
- BRIDGE CONSTRUCTION" LATEST EDITION AND SUPPLEMENTS. CITY/UTILITY PROVIDER SPECIFICATIONS, LOCAL PLUMBING CODE
- 4. APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES

PROJECT AGENCIES/AUTHORITIES

- 1. MUNICIPALITY: CITY OF ALBUQUERQUE (CITY)
- 2. ROW AUTHORITY: CITY OF ALBUQUERQUE, BERNALILLO COUNTY, AND NMDOT
- 3. UTILITY AUTHORITY: TO BE DETERMINED
- 4. OTHER AUTHORITIES: TO BE DETERMINED NOTE: NOT ALL APPLICABLE AUTHORIES MAY BE LISTED

GENERAL NOTES

- 1. UNTIL REVISION BLOCK STATES "ISSUED FOR CONSTRUCTION", THE PLAN SET IS NOT CERTIFIED FOR
- CONSTRUCTION AND CONTRACTOR IS BUILDING AT THEIR OWN RISK.
- 2. EXISTING CONDITIONS SHOWN ARE FROM A TOPOGRAPHIC SURVEY COMPLETED BY STANTEC CONSULTING SERVICES INC., DATED JANUARY 2024. EXISTING FEATURES MAY NOT BE EXACT TO THEIR LOCATION. CONTRACTOR RESPONSIBLE FOR VERIFYING THE CONDITIONS OF THE SITE AND MUST IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES OR VARIATIONS FROM THE DRAWINGS
- 3. SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2 ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA". EXACT LOCATION/DEPTH OF SUBSURFACE UTILITIES SUCH AS GAS, TELEPHONE, FIBER OPTIC, SEWER, WATER, PIPELINES, ELECTRICAL, AND CABLE TV ARE UNKNOWN AND THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE
- CONTRACTOR RESPONSIBLE FOR CONTACTING NM811 (811 OR 1-800-321-2537) A MINIMUM OF 2 WORKING DAYS (NOT INCLUDING THE DAY OF CALL) IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) BEFORE STARTING WORK FOR LOCATIONS OF UNDERGROUND UTILITIES.
- 5. CONTRACTOR SHALL ANTICIPATE PRIVATE UTILITY CONFLICTS THROUGHOUT THE PROJECT SUB CUT AND TRENCH AREAS AND MUST COORDINATE THE RELOCATION OR PROTECTION OF EXISTING UTILITIES, OR INSTALLATION OF NEW UTILITIES WITH UTILITY OWNERS THAT MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE STARTING WORK. COSTS FOR SUCH WORK, INCLUDING EXTRA TIME AND EFFORT FOR PROVISIONS NECESSARY TO WORK AROUND OR UNDER UTILITIES, IS THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. FEES OR CHARGES WHICH ARE TO BE PAID TO THE UTILITY COMPANY, INCLUDING WORK THAT MUST BE PERFORMED BY THE UTILITY COMPANY, ARE TO BE INCLUDED IN THE CONTRACTOR'S BID PRICE 6. QUANTITIES ARE APPROXIMATE, AND MAY VARY TO ALLOW COMPLETION OF WORK.
- WORK AND MATERIALS MUST COMPLY WITH CITY, COUNTY, STATE, AND FEDERAL (INCLUDING OSHA) REGULATIONS AND CODES.
- 8. CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS TO ADJACENT PROPERTIES THROUGHOUT CONSTRUCTION
- 9. CONTRACTOR SHALL COORDINATE AND MAINTAIN MAIL, GARBAGE, AND RECYCLING SERVICES TO PROPERTIES THROUGHOUT CONSTRUCTION. COORDINATE WITH LOCAL POSTMASTER, GARBAGE AND RECYCLING SERVICES. 10. CONTRACTOR SHALL COORDINATE AND MAINTAIN STORMWATER DRAINAGE CONVEYANCE THROUGHOUT
- CONSTRUCTION (BOTH PIPED AND OVERLAND FLOW). 11. CONTRACTOR SHALL COORDINATE AND MAINTAIN WATER AND SANITARY FLOW TO AND FROM PROPERTIES PROVIDE BYPASS AND TEMPORARY SYSTEMS, AS NECESSARY
- 12. CONTRACTOR SHALL COORDINATE AND MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICE MUST NOT BE INTERRUPTED WITHOUT APPROVAL FROM OWNER, CITY, AND ADJACENT PROPERTIES.
- 13. CONTRACTOR SHALL COORDINATE WITH UTILITY SERVICES FOR SMALL/DRY UTILITY INSTALLATION. 14. CONSTRUCTION LIMITS ARE TO PROPERTY LINE AND RIGHT-OF-WAY UNLESS SHOWN OR NOTED OTHERWISE. CONTRACTOR SHALL RESTRICT CONSTRUCTION ACTIVITIES TO AREAS DESIGNATED ON PLANS WITHIN THE CONSTRUCTION LIMITS
- CONTRACTOR SHALL PRESERVE AND PROTECT EXISTING PAVEMENT, SITE FEATURES, UTILITIES, TREES, ETC. UNLESS NOTED OR SHOWN OTHERWISE.
- 16. CONTRACTOR SHALL PHOTO OR VIDEO DOCUMENT EXISTING CONDITIONS OF TREES AND PLANTINGS, ADJOINING CONSTRUCTION, SURFACES, AND SITE IMPROVEMENTS, ETC. TO REMAIN THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. SUBMIT TO ENGINEER AND OWNER BEFORE CONSTRUCTION BEGINS. USE ADEQUATELY DETAILED PHOTOGRAPHS OR VIDEO RECORDINGS. INCLUDE PLANS AND NOTATIONS TO INDICATE SPECIFIC EXISTING DAMAGE CONDITIONS OF ITEMS DESIGNATED TO REMAIN. ANY DAMAGE TO THE EXISTING PAVEMENT, CURBING, STRIPING, OR OTHER SITE FEATURE TO REMAIN MUST BE REPLACED BY THE CONTRACTOR, TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST TO THE OWNER.
- 17. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION AND WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES.
- 18. CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER AND ENGINEER IN WRITING OF DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS ARE TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER. FAILURE TO NOTIFY OWNER AND ENGINEER OF AN IDENTIFIABLE CONFLICT BEFORE PROCEEDING WITH INSTALLATION RELIEVES OWNER AND ENGINEER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 19. CONTRACTOR SHALL HAVE ONE COPY OF EACH REQUIRED CONSTRUCTION PERMIT AND ONE COPY OF THE MOST CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS (INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT, SPECIAL CONDITIONS AND PROVISIONS, ETC.) AVAILABLE AT THE PROJECT SITE AT ALL
- 20. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR IMPLEMENTATION AND ENFORCEMENT OF SAFE WORK PRACTICES, INCLUDING BUT NOT LIMITED TO PERSONNEL MONITORING, USE OF TRENCHING, SHEETING, AND SHORING, SCAFFOLDING; MATERIALS HANDLING AND DRILLING; OPERATION OF EQUIPMENT; AND SAFETY OF PUBLIC DURING PROGRESS OF WORK.
- 21. CONTRACTOR SHALL PLAN FOR AND ENSURE PERSONNEL COMPLY WITH PROVISIONS OF OSHA SAFETY AND HEALTH STANDARDS (29 CFR 1910) AND GENERAL CONSTRUCTION STANDARDS (29 CFR 1926) AS APPROPRIATE.
- 22. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH WORK. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS FOR SAFETY OF EMPLOYEES ON PROJECT SITE AND OTHER PERSONS AND ORGANIZATIONS WHO MAY BE AFFECTED BY THE PROJECT. CONTRACTOR'S DUTIES AND RESPONSIBILITIES FOR SAFETY IN CONNECTION WITH WORK SHALL CONTINUE UNTIL SUCH TIME AS ALL WORK IS COMPLETED, AND ENGINEER HAS ISSUED NOTICE TO CONTRACTOR THAT WORK IS COMPLETE.
- 23. HAZARDOUS MATERIALS, INCLUDING BUT NOT LIMITED TO OIL, GASOLINE, PAINT AND OTHER HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, BY THE CONTRACTOR, INCLUDING SECONDARY CONTAINMENTS, TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE WITH LOCAL/STATE/FEDERAL REGULATIONS. CONTRACTOR SHALL REMOVE SPILL OF FUELS, OILS, OR OTHER CHEMICALS IMMEDIATELY UPON DETECTION.
- 24. CONTRACTOR SHALL DOCUMENT AND MAINTAIN AS-BUILT INFORMATION AS CONSTRUCTION PROGRESSES AND IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER AS REQUIRED BY JURISDICTIONAL AGENCIES FOR CERTIFICATION. ALL AS-BUILT DATA MUST BE COLLECTED BY A LICENSED PROFESSIONAL LAND SURVEYOR REGISTERED IN THE PROJECT'S STATE WHOSE SERVICES ARE ENGAGED AND PAID FOR BY THE CONTRACTOR.

REMOVAL / DEMOLITION NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- 2. CONTRACTOR SHALL OBTAIN PERMITS REQUIRED FOR DEMOLITION, REMOVAL AND DISPOSAL 3. CONTRACTOR SHALL REVIEW FEATURES NOT SPECIFICALLY IDENTIFIED ON PLAN FOR SALVAGE OR REMOVAL
- THAT CONFLICT WITH CONSTRUCTION WITH THE ENGINEER 4. MATERIALS REMOVED/DEMOLISHED BY CONTRACTOR BECOME PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL LOAD AND HAUL MATERIAL OFF-SITE AND PROPERLY DISPOSE OF MATERIALS IN ACCORDANCE WITH APPLICABLE REGULATIONS. CONTRACTOR MUST LEAVE THE SITE IN A
- CONDITION TO THE SATISFACTION OF THE OWNER AND ENGINEER. CONTRACTOR SHALL SAWCUT FULL DEPTH AT PAVEMENT REMOVAL LIMITS AND AS NECESSARY TO CREATE A
- SMOOTH FIT/TRANSITION ALONG MATCHING PAVEMENT AREAS. CONTRACTOR SHALL COORDINATE UTILITY REMOVAL WORK WITH APPROPRIATE UTILITY OWNER.
- CONTRACTOR SHALL SALVAGE AND REINSTALL STREET AND TRAFFIC SIGNS IN CONFLICT WITH CONSTRUCTION ACTIVITIES AS NOTED OR AS DIRECTED BY ENGINEER. IF SIGNS ARE DAMAGED DURING CONSTRUCTION, CONTRACTOR REQUIRED TO PROVIDE NEW SIGNS AT NO ADDITIONAL COST TO THE OWNER.
- 8. CONTRACTOR SHALL SALVAGE AND REINSTALL FENCE IN CONFLICT WITH CONSTRUCTION ACTIVITIES AS NOTED OR AS DIRECTED BY ENGINEER. IF FENCE IS DAMAGED DURING CONSTRUCTION, CONTRACTOR REQUIRED TO PROVIDE NEW FENCE, TO OWNER'S SATISFACTION, AT NO ADDITIONAL COST TO THE OWNER.
- 9. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR MUST CONTACT THE ENGINEER IMMEDIATELY. ALL CONTAINERS OR TANKS MUST BE DISPOSED OF PROPERLY AT A REGULATED/PERMITTED FACILITY
- 10. UNLESS OTHERWISE NOTED, CONTRACTOR IS RESPONSIBLE FOR REMOVAL/DEMOLITION WITHIN ALL AREAS OF PROPOSED IMPROVEMENTS. REMOVAL LIMITS ARE IDENTIFIED ON THE DRAWINGS IN ANTICIPATED LOCATIONS. CONTRACTOR RESPONSIBLE FOR REMOVALS AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS AND CONFORM TO DESIGN REQUIREMENTS. ALL FACILITIES TO BE REMOVED MUST BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE FILL MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS AND AS DIRECTED BY THE ENGINEER

TRAFFIC CONTROL NOTES

- SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION. 2. CONTRACTOR SHALL COORDINATE CONSTRUCTION STAGING, ON OR OFFSITE, AS NECESSARY TO COMPLETE THE WORK. IF OFFSITE STAGING AREA IS REQUIRED, CONTRACTOR IS RESPONSIBLE TO FIND, OBTAIN, AND PAY FOR NECESSARY STAGING AREA AT NO ADDITIONAL COST TO THE OWNER. SUBMIT A STAGING PLAN TO THE ENGINEER FOR REVIEW BEFORE STARTING WORK.
- CONTRACTOR RESPONSIBLE FOR ALL TRAFFIC CONTROL. TRAFFIC CONTROL MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE'S MUTCD, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS. SUBMIT TRAFFIC CONTROL PLAN TO CITY OF ALBUQUERQUE, BERNALILLO COUNTY. AND NMDOT AND ENGINEER FOR REVIEW BEFORE CONSTRUCTION RELATED ACTIVITIES. PLANS MUST COMPLY WITH APPLICABLE PERMIT REQUIREMENTS. TRAFFIC CONTROL ALSO INCLUDES NECESSARY SIGNAGE AND MARKINGS FOR SIDEWALKS, TRAILS, BOARDWALKS, ETC. CLOSURE. THIS MUST INCLUDE ADVANCED WARNING SIGNS AND NECESSARY FENCING AND SIGNAGE TO PREVENT PEDESTRIANS FROM ACCESSING THE PROPOSED AREA.
- CONTRACTOR MUST SCHEDULE WORK IMPACTING DAYTONA ROAD NW WITH THE OWNER, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, AND NMDOT AND ENGINEER. CLOSURES OR DETOURS MUST BE ACCEPTED BY OWNER, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, AND NMDOT PRIOR TO STARTING WORK.
- CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC ON DAYTONA ROAD NW AT ALL TIMES, UNLESS OTHERWISE APPROVED BY THE ROAD AUTHORITY. CONTRACTOR MUST SCHEDULE WORK IMPACTING DAYTONA ROAD NW WITH THE OWNER, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, AND NMDOT AND ENGINEER. CLOSURES OR DETOURS MUST BE ACCEPTED BY OWNER, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, AND NMDOT PRIOR TO STARTING WORK.

SITE NOTES

- 1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION. 2. REFER TO THE ARCHITECTURAL, STRUCTURAL, LANDSCAPE, AND MEP PLANS FOR EXACT LOCATIONS OF AND DIMENSIONS OF BUILDINGS, VESTIBULES, STOOPS, OVERHANGS, COLUMNS, RAMPS, SIDEWALKS, TRASH ENCLOSURES, TRAFFIC GATES, MONUMENT SIGNS, LANDSCAPING, PLANTINGS, TREES, SITE LIGHTING, EXTERIOR ELECTRICAL. BACKFLOW PREVENTORS AND BUILDING UTILITY ENTRANCE LOCATIONS.
- 3. BUILDING LINES SHOWN ARE APPROXIMATE OUTSIDE LINES OF BUILDINGS AT GRADE, MAY NOT ACCOUNT FOR EXTRUSIONS (I.E. BALCONIES, OVERHANGS, LIGHTING, ETC.) ABOVE GRADE, AND ARE BASED ON INFORMATION
- PROVIDED TO STANTEC BY THE ARCHITECT. CONTRACTOR SHALL VERIFY FINAL BUILDING PLANS WITH ARCHITECT. 4. CONTRACTOR AND SURVEYOR SHALL FIELD VERIFY THE BUILDING FOOTPRINT/OUTLINE AND OUTER MOST EXTRUSIONS PRIOR TO CONSTRUCTION TO REVIEW POTENTIAL CONFLICTS WITH ADJACENT WORK, EXISTING SITE FEATURES, PROPERTY LINES, SETBACKS, ETC.
- 5. EQUIPMENT PAD ELEVATIONS SHOWN ON GRADING PLAN. EQUIPMENT PAD STRUCTURAL/CONCRETE DESIGN BY ARCHITECT/STRUCTURAL/MEP. COORDINATE WITH PROJECT PARTNERS
- RETAINING WALL ELEVATIONS SHOWN ON GRADING PLAN. RETAINING WALL DESIGN BY ARCHITECT/STRUCTURAL. COORDINATE WITH PROJECT PARTNERS
- 7. FENCING LOCATION SHOWN ON SITE PLAN FOR REFERENCE ONLY. FENCING DESIGN BY ARCHITECT/STRUCTURAL/LANDSCAPE ARCHITECT. COORDINATE WITH PROJECT PARTNERS.
- 8. CONCRETE GUTTER PAN TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

PAVING, PAVEMENT MARKING, AND SIGNAGE NOTES

- 1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR SHALL MAINTAIN STREET AND TRAFFIC SIGNS AT ALL TIMES DURING CONSTRUCTION. 3. SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN ACCORDANCE WITH THE STATE'S MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPLICABLE ROAD AUTHORITY STANDARDS.
- 4. THE PAVEMENT SURFACE SHALL BE CLEANED AT THE DIRECTION OF THE APPLICABLE ROAD AUTHORITY AND THE ENGINEER JUST PRIOR TO APPLICATION OF PAVEMENT MARKINGS. PAVEMENT CLEANING SHALL CONSIST OF AT LEAST BRUSHING WITH A ROTARY BROOM (NON-METALLIC) OR AS RECOMMENDED BY THE MATERIALS MANUFACTURER AND ACCEPTABLE TO THE APPLICABLE ROAD AUTHORITY AND THE ENGINEER.
- THE PAVEMENT MARKING APPLICATION SHALL IMMEDIATELY FOLLOW THE PAVEMENT CLEANING. 6. PAVEMENT MARKING EDGE LINES ARE TO BE BROKEN ONLY AT INTERSECTION WITH PUBLIC ROADS AND PRIVATE ENTRANCES IF THEY ARE CONTROLLED BY A YIELD SIGN, STOP SIGN OR TRAFFIC SIGNAL. THE BREAK POINT IS TO BE AT THE START OF THE RADIUS FOR THE INTERSECTION OR AT MARKED STOP LINES.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAVEMENT MARKING RELATED ACTIVITIES, SUCH AS, BUT NOT LIMITED TO, COLLECTING DATA FROM IN PLACE LANE LINES, MARKING PERMANENT MARKING ALIGNMENTS, NECESSARY 'SPOTTING' AT APPROPRIATE POINTS AND TO DETERMINE NECESSARY STARTING AND CUTOFF POINTS. EXACT LOCATION OF PAVEMENT MARKINGS TO BE FIELD LOCATED BY THE CONTRACTOR. CONTRACTOR
- TO COORDINATE WITH ROAD AUTHORITY AS NECESSARY FOR PAVEMENT MARKINGS IN THE ROW. 8. WHERE CONNECTING TO INPLACE ROADWAYS/PAVEMENT SECTIONS AT THE TERMINI OF PROPOSED NEW CONSTRUCTION, CUT VERTICALLY TO THE BOTTOM OF THE INPLACE SURFACING OR TO THE BOTTOM OF THE NEW SURFACING DESIGN, WHICHEVER IS DEEPER, THEN AT A 1V:20H TAPER TO THE BOTTOM OF THE RECOMMENDED SUBGRADE EXCAVATION. 9. THE CONTRACTOR SHALL HAVE A MINIMUM OF 2 PEOPLE WITH CURRENT ACI CONCRETE FLATWORK TECHNICIAN
- OR FLATWORK FINISHER CERTIFICATION, AND AT LEAST ONE OF THEM MUST BE ONSITE FOR ALL CONCRETE POURS.
- 10. PROTECT CONCRETE PAVING FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVING FOR A MINIMUM OF 14 DAYS AFTER PLACEMENT. WHEN CONSTRUCTION TRAFFIC IS PERMITTED, MAINTAIN PAVING AS CLEAN AS POSSIBLE BY REMOVING SURFACE STAINS AND SPILLAGE OF MATERIALS AS THEY OCCUR. MAINTAIN CONCRETE FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIALS. SWEEP PAVING NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS. REPAIR OR REPLACE STAINED/DISCOLORED CONCRETE TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.

PAVING, PAVEMENT MARKING, AND SIGNAGE NOTES CONT'D

- 11. CONSTRUCTION AND MATERIALS WITHIN PUBLIC RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH APPLICABLE ROAD AUTHORITY'S SPECIFICATIONS AND STANDARDS. DOT SPECIFICATIONS AND STANDARDS APPLY IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS. PAVING, PAVEMENT MARKINGS, AND SIGNAGE WITHIN THE SITE SHALL MEET THE FOLLOWING REQUIREMENTS:
- A. HMA/ASPHALTIC CONCRETE: CONFORM TO NMDOT SPEC 423
- 1) #N/A 2) #N/A
- WEARING COURSES 10% MAX RAP, NO RAS ALLOWED. NON-WEARING COURSES 20% MAX RAP 4) TACK COAT: NMDOT SPEC 407, EMULSIFIED ASPHALT, CATIONIC, CSS-1 OR CSS-1H
- B. MAXIMUM ALLOWABLE HMA LIFT THICKNESS SHALL NOT EXCEED 3 INCHES. MINIMUM LIFT THICKNESS SHALL BE IN ACCORDANCE WITH THE FOLLOWING: 1.5 INCHES FOR MIXES WITH 0.5 INCH MAX AGGREGATE SIZE; 2.5 INCHES FOR MIXES WITH 0.75 INCH MAX AGGREGATE SIZE ; 0.75 INCHES FOR MIXES WITH 0.375 INCH MAX AGGREGATE SIZE
- C. PLACE TACK COAT BETWEEN NEW SURFACE AND EACH NEW LIFT AT A RATE OF 0.05 GALLONS PER SQUARE
- D. CONCRETE SIDEWALK/DRIVEWAYS/SLABS MATERIALS: NMDOT SPECS 450, 451, 509, 510, 608, 609 1) MANUAL PLACEMENT MIX DESIGN: NMDOT SPECS 450, 451, 509, AND 510, CLASS A CONCRETE (SIDEWALK) AND CLASS HPD (PAVING)
- 2) FLY ASH: CLASS F F. CONCRETE CURB AND GUTTER MATERIALS: NMDOT SPEC 609
- 1) MANUAL PLACEMENT: NMDOT SPEC 609, CLASS A
- 2) SLIP FORM PLACEMENT: NMDOT SPEC 609, CLASS F
- G. CONCRETE METAL REINFORCEMENT 1) REINFORCING BARS: NMDOT SPEC 540, BAR REINFORCEMENT COATING: EPOXY COATED IN ACCORDANCE WITH ASTM A775.
- 2) TIE WIRE: PLASTIC OR NYLON COATED TIE WIRES.
- 3) BAR SUPPORTS: CONFORM TO "BAR SUPPORT SPECIFICATIONS AND STANDARD NOMENCLATURE", CRSI MANUAL OF STANDARD PRACTICE.
- 4) WELDED WIRE FABRIC/REINFORCEMENT: NMDOT SPEC 540, WELDED WIRE FABRIC COATING: UNCOATED. H. CONCRETE ISOLATION/EXPANSION JOINT MATERIAL: PREFORMED EXPANSION JOINT FILLER IN ACCORDANCE WITH AASHTO M33 OR AASHTO M153
- I. CONCRETE CURING MATERIALS: NMDOT SPEC 511, METHOD 1, WATER CURING
- J. SILANE/SILOXANE CONCRETE SEALER: SILOXA-TEK 8500, OKON S40, ARMOR SX5000, OR APPROVED EQUAL. SHALL BE APPLIED PER MANUFACTUER INSTRUCTIONS. SHALL BE APPLIED ON A CLEAN, DRY, AND ABSORBENT SURFACE THAT HAS BEEN CURED FOR AT LEAST 28 DAYS PRIOR TO APPLICATION. SHALL BE APPLIED TO A SURFACE THAT IS ABOVE 40 DEGREES FAHRENHEIT AND WILL NOT FREEZE FOR AT LEAST 24 HOURS. APPLICATION RATE SHALL BE MONITORED AND BE GREATER THAN MANUFACTURERS RECOMMENDATIONS
- K. CONCRETE PLACING, FINISHING, CURING, AND PROTECTION: CONFORM TO NMDOT SPECS 450, 451, 509, 510, 608, 609, AND APPLICABLE ACI STANDARDS
- 1) FOR HOT WEATHER PLACEMENT, COMPLY WITH ACI 305 HOT WEATHER CONCRETING (LATEST EDITION). 2) FOR COLD WEATHER PLACEMENT, COMPLY WITH ACI 306 COLD WEATHER CONCRETING (LATEST EDITION). DO NOT PLACE CONCRETE IN AIR TEMPERATURE LESS THAN 40 DEGREES F WITHOUT APPROVAL OF THE ENGINEER.
- 3) PRIOR TO POURING ANY EXTERIOR CONCRETE FLATWORK/SLAB, CONTRACTOR MUST VERIFY THE PREDICTED COMBINATION OF AIR TEMPERATURE, RELATIVE HUMIDITY, CONCRETE TEMPERATURE AND WIND VELOCITY WILL NOT EXCEED AN EVAPORATION RATE OF 0.20 POUNDS PER SQUARE FOOT OF SURFACE AREA PER HOUR IN ACCORDANCE WITH ACI 305 (LATEST EDITION). THE WEATHER MUST ALSO BE LESS THAN 30% CHANCE OF PRECIPITATION FOR THE ENTIRE PLACEMENT WINDOW, AND 2 HOURS FOLLOWING EXPECTED COMPLETION. IF EITHER OF THESE CONDITIONS ARE NOT MET, THE POUR MUST BE POSTPONED UNTIL IT CAN MEET THESE REQUIREMENTS.
- 4) INSTALLATION FORM: CONTRACTOR OR INDEPENDENT TESTING AGENCY IS REQUIRED TO FILL OUT AND SUBMIT THE ENGINEER'S EXTERIOR CONCRETE INSTALLATION FORM AT THE END OF THE DAY OF EACH POUR. CONTACT THE ENGINEER TO OBTAIN THE FORM.
- 5) APPLY CURING COMPOUND AT A MINIMUM RATE OF 1 GALLON PER 150 SQ FT SURFACE CURING AREA OR MANUFACTURER RECOMMENDED APPLICATION RATE. WHICHEVER IS GREATER.
- 6) CONSTRUCT TEMPORARY WIND BREAKS AS NECESSARY TO REDUCE WIND VELOCITY/DRYING/EXPOSURE. 7) CONSTRUCT TEMPORARY SUNSHADES AS NECESSARY TO REDUCE CONCRETE TEMPERATURES/EXPOSURE 8) CONTRACTOR SHALL PROTECT ALL CONCRETE SLABS THROUGHOUT CONSTRUCTION FROM HEAVY
- EQUIPMENT, VIBRATIONS, ADJACENT WORK, ETC. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONCRETE DAMAGED DURING CONSTRUCTION AND SHALL REPLACE AT NO ADDITIONAL COST TO THE OWNER. AGGREGATE BASE: SEE DETAILS
- M. AGGREGATE SURFACING: CITY OF ALBUQUERQUE SPEC 308, PROCESSED NATURAL MATERIAL
- N. PAVEMENT MARKINGS: CITY OF ALBUQUERQUE SPEC 440
- 1) PAVEMENT STRIPES: CITY OF ALBUQUERQUE SPEC 440, TRAFFIC PAINT
- 2) PAVEMENT MESSAGES (ARROWS): CITY OF ALBUQUERQUE SPEC 440, TRAFFIC PAINT 3) CROSSWALK: CITY OF ALBUQUERQUE SPEC 440, TRAFFIC PAINT
- 4) INSTALLERS OF THERMOPLASTIC MUST CARRY A CARD CERTIFYING THAT THEY HAVE ATTENDED A TRAINING SESSION THAT ADDRESSES SURFACE PREPARATIONS AND ALL APPLICATION REQUIREMENTS AND TECHNIQUES NECESSARY FOR SUCCESSFUL APPLICATIONS.
- 5) PRIOR TO APPLYING PAVEMENT MARKINGS, ALLOW NEW PAVEMENT TO CURE A MINIMUM OF 14 DAYS OR FOLLOW MANUFACTURER'S SPECIFICATION FOR PAVEMENT CURE TIME, WHICHEVER IS GREATER.
- P. SIGNAGE: CONFORM TO NMDOT SPEC 752. ALL SIGNS/POSTS SHALL MEET CRASHWORTHY REQUIREMENTS OF MASH-16. SIGNS SHALL INCLUDE NUMBER AND SIZE OF POSTS IN ACCORDANCE WITH NMDOT WIND LOADING REQUIREMENTS. MOUNT SIGNS IN ACCORDANCE WITH SQUARE TUBE SIGN MOUNTING NMDOT STANDARD PLANS AND REQUIREMENTS. SEE NMDOT STANDARDS FOR SIGN BLANK DETAILS FOR FLAT SHEET SIGN PANELS. SEE NMDOT STANDARDS AND REQUIREMENTS FOR DETAILS OF TRAFFIC SIGN INSTALLATION. SEE NMDOT STANDARDS AND MUTCD FOR SIGN MOUNTING HEIGHT AND OFFSET REQUIREMENTS.
- 12. CONTRACTOR SHALL PROVIDE CONCRETE JOINTS AS FOLLOWS: A. CONTROL JOINTS - MAINTAIN AN ASPECT RATIO (LENGTH TO WIDTH) BETWEEN CONTROL JOINTS AS CLOSE TO 1:1 AS FEASIBLE. DO NOT EXCEED ASPECT RATIO GREATER THAN 1.5:1. MATCH EXISTING PATTERN WHERE APPLICABLE, VERIFY WITH OWNER. MAXIMUM CONTROL JOINT SPACING SHALL BE 24 TIMES THE SLAB THICKNESS UP TO A MAXIMUM OF 12 FEET (I.E. 4-INCH-THICK SLAB = 96 INCH (8 FOOT) MAXIMUM CONTROL JOINT SPACING IN ANY DIRECTION, 8-INCH-THICK SLAB IS 12 FEET)
 - 1) JOINT INTERSECTION ANGLES LESS THAN 60 DEGREES WILL NOT BE ALLOWED
 - 2) PANEL WIDTHS LESS THAN 6 INCHES AT ANY POINT WILL NOT BE ALLOWED
 - 3) JOINTING MUST ACCOMMODATE IN-PAVEMENT STRUCTURES THROUGH JOINTING AND BOXOUTS
- 4) CONTRACTOR MUST SUBMIT A JOINTING PLAN FOR ENGINEER ACCEPTANCE.
- B. EXPANSION/ISOLATION JOINTS PROVIDE AT THE FOLLOWING: 1) JOINT INTERSECTION ANGLES LESS THAN 60 DEGREES WILL NOT BE ALLOWED
- 2) LOCATIONS WHERE CHANGES IN WIDTH OCCUR
- 3) LOCATIONS WHERE ADJOINING EXISTING CONCRETE
- 4) LOCATIONS THAT ABUT THE BUILDING AND OTHER SITE FEATURES INCLUDING RAMPS, STAIRS, LANDINGS, CONCRETE APRONS, ARCHITECTURAL AND LANDSCAPE FEATURES, ETC.
- 5) LOCATIONS IN CHANGES IN DEPTH (INCLUDING PAVEMENT ADJACENT TO CURB). C. WHEREVER POSSIBLE MATCH JOINTS OF ADJACENT CONCRETE WORK.
- 13. FIELD QUALITY CONTROL:
- A. AGGREGATE BASE TESTING REQUIREMENTS AND FREQUENCY: TEST SUBGRADE AND AGGREGATE BASE IN ACCORDANCE WITH NMDOT SPEC RECOMMENDATIONS.
- B. CONCRETE TESTING REQUIREMENTS AND FREQUENCY: TEST CONCRETE AIR CONTENT (ASTM C231), CONCRETE SLUMP (ASTM C143), AIR AND CONCRETE TEMPERATURE, AND 7- AND 28-DAY COMPRESSIVE STRENGTH (ASTM C31, C39, AND C172).
- C. HMA/ASPHALTIC CONCRETE TESTING REQUIREMENTS AND FREQUENCY: TEST HMA PAVEMENT IN ACCORDANCE WITH NMDOT SPECS.





EROSION CONTROL NOTES

- READY MIX TRUCKS.

CLASS 1

PAVING, PAVEMENT MARKING, AND SIGNAGE NOTES CONT'D

14. TOLERANACES

A. HMA/ASPHALTIC CONCRETE PAVEMENT: CONFORM TO NMDOT SPECIFICATIONS AND THE FOLLOWING: DEVIATIONS ALONG ADA ACCESSIBLE ROUTES THAT EXCEED THE MAXIMUM SLOPES WILL BE CONSIDERED UNACCEPTABLE. HORIZONTAL/LINE DEVIATIONS GREATER THAN ±1 INCH WILL BE CONSIDERED UNACCEPTABLE. ANY SURFACE AREA ALLOWING ENTRAPMENT OF WATER AT A DEPTH OF 1/4 INCH OR GREATER WILL BE CONSIDERED UNACCEPTABLE. REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.

B. CONCRETE PAVEMENT: CONFORM TO NMDOT SPECIFICATIONS AND THE FOLLOWING: VERTICAL DEVIATIONS IN SURFACE GREATER THAN ±3/16 INCH WILL BE CONSIDERED UNACCEPTABLE. DEVIATIONS ALONG ADA ACCESSIBLE ROUTES THAT EXCEED THE MAXIMUM SLOPES WILL BE CONSIDERED UNACCEPTABLE.

HORIZONTAL/LINE DEVIATIONS IN LOCATION GREATER THAN ±1/2 INCH WILL BE CONSIDERED UNACCEPTABLE. ANY SURFACE AREA ALLOWING ENTRAPMENT OF WATER AT A DEPTH OF 1/8 INCH OR GREATER WILL BE CONSIDERED UNACCEPTABLE. RANDOM AND UNCONTROLLED CRACKING WILL BE CONSIDERED UNACCEPTABLE REPLACE CONCRETE PAVEMENT AS DIRECTED BY ENGINEER AND OWNER. PERFORM PAVEMENT REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER. REMOVE AND REPLACE UNACCEPTABLE WORK AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.

C. CONCRETE CURB AND GUTTER: CONFORM TO NMDOT SPEC 609. DEVIATIONS ALONG ADA ACCESSIBLE ROUTES THAT EXCEED THE MAXIMUMS WILL BE CONSIDERED UNACCEPTABLE.

D. PAVEMENT MARKINGS: CONFORM TO CITY OF ALBUQUERQUE SPEC 440, EXCEPT AS MODIFIED HEREIN: LINE WIDTH DEVIATIONS LESS THAN OR EQUAL TO ±1/4 INCH FROM THE SPECIFIED WIDTH WILL BE ALLOWED FOR STRIPING PROVIDED THE VARIATION IS GRADUAL AND DOES NOT DETRACT FROM THE GENERAL APPEARANCE. BROKEN LINE SEGMENTS LESS THAN OR EQUAL TO $\pm 1/4$ FOOT FROM THE SPECIFIED LENGTHS WILL BE ALLOWED FOR STRIPING. ALIGNMENT DEVIATIONS FROM THE CONTROL GUIDE SHALL NOT EXCEED 2 INCHES. MATERIAL SHALL NOT BE APPLIED OVER LONGITUDINAL JOINTS. ESTABLISHMENT OF APPLICATION TOLERANCES SHALL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY TO COMPLY AS CLOSELY AS PRACTICABLE WITH THE PLANNED DIMENSIONS.

15. CONTRACTOR SHALL INSTALL A MINIMUM OF 6 INCHES AGGREGATE BASE PAST THE BACK OF CURB.

SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.

2. CONTRACTOR SHALL CONFORM TO AND CONDUCT INSPECTIONS IN ACCORDANCE WITH THE NPDES PERMIT AND SWPPP REQUIREMENTS.

 BEFORE SITE DISTURBANCE AND AS REQUIRED AS CONSTRUCTION PROGRESSES, CONTRACTOR SHALL INSTALL. MAINTAIN, REPAIR, AND REPLACE EROSION PREVENTION MEASURES AND SEDIMENT CONTROL DEVICES (INLET PROTECTION, CONSTRUCTION ENTRANCE, SILT FENCE, EROSION CONTROL BLANKET, ETC.) IN ACCORDANCE WITH THE NDPES PERMIT, THE SWPPP, AND APPLICABLE PERMITTING AGENCIES.

4. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDING ON SITE CONDITIONS DURING CONSTRUCTION. COORDINATE WITH ENGINEER.

CONTRACTOR SHALL STABILIZE ALL EXPOSED SOIL AREAS WITHIN THE CONSTRUCTION LIMITS WITHIN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE THAT HAS TEMPORARILY (WILL NOT RESUME FOR A PERIOD EXCEEEDING 14 CALENDAR DAYS) OR PERMANENTLY CEASED. STABILIZATION MUST BE INITIATED PROMPTLY. REFER TO LANDSCAPE PLANS FOR FINAL GROUND COVER MATERIALS.

CONTRACTOR SHALL REMOVE ANY SEDIMENT THAT HAS TRACKED ONTO PAVED SURFACES BOTH ON AND OFFSITE WITHIN 24 HOURS AND AS DIRECTED BY APPLICABLE PERMITTING AGENCIES, ROAD AUTHORITY, OWNER, AND ENGINEER. SWEEP STREET IN ACCORDANCE WITH APPLICABLE PERMITTING AGENCIES, ROAD AUTHORITY, AND

NDPES PERMIT REQUIREMENTS. CONTRACTOR SHALL COMPLETE CONCRETE WASH-OUT OFF-SITE OR PROVIDE SELF-CONTAINED CONCRETE

8. CONTRACTOR SHALL MINIMIZE DUST FROM CONSTRUCTION OPERATIONS BY PROVIDING WATER OR OTHER APPROVED METHOD ON A DAILY BASIS.

9. CONTRACTOR SHALL PHASE GRADING WORK TO MINIMIZE THE DURATION THAT DISTURBED SOIL IS EXPOSED. 10. CONTRACTOR SHALL PROVIDE/INSTALL DIVERSION DITCHES, SEDIMENT BASINS, AND OTHER EROSION PROTECTION/SEDIMENT CONTROL MEASURES AS NECESSARY DURING INTERIM PROJECT CONDITIONS (NOT SHOWN ON PLANS) TO MANAGE/DIVERT STORM WATER AWAY FROM SITE FEATURES AND CONTROL

EROSION/SEDIMENT. CONTRACTOR SHALL ADJUST MEASURES AS NECESSARY THROUGHOUT PROJECT PHASING. 11. CONTRACTOR SHALL LOCATE SOIL STOCKPILES NO LESS THAN 50 FEET FROM ROADWAYS, STORMWATER INLETS, PONDS, WETLANDS, DRAINAGE CHANNELS, AND OTHER SURFACE WATERS. IF REMAINING FOR MORE THAN 14 DAYS STABILIZE THE STOCKPILES BY MULCHING, VEGETATED COVER, TARPS, OR OTHER MEANS IN ACCORDANCE WITH THE NPDES PERMIT. PLACE PERIMETER SEDIMENT CONTROLS AROUND STOCKPILES TO CONTROL EROSION. COVER TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES IF LEFT FROM MORE THAN 24 HOURS. 12. CONTRACTOR SHALL REMOVE ALL EROSION CONTROL MEASURES AFTER SITE HAS BEEN STABILIZED AND VEGETATION IS ESTABLISHED AS DIRECTED BY ENGINEER. EROSION CONTROL MEASURES USED FOR CONSTRUCTION MUST NOT BE REMOVED UNTIL AUTHORIZED BY OWNER OR ENGINEER.

13. CONTRACTOR SHALL SUBMIT THE NOTICE OF TERMINATION AT THE COMPLETION OF THE PROJECT IN ACCORDANCE WITH THE NPDES PERMIT AND SWPPP REQUIREMENTS.

14. SOIL PREPARATION: PREPARE SOIL IN ACCORDANCE WITH NMDOT SPECIFICATIONS.

15. EROSION CONTROL SHALL MEET THE FOLLOWING REQUIREMENTS:

A. SILT FENCE: NMDOT SPEC 603 SILT FENCE

B. COMPOSTED MULCH SOCK: NMDOT SPEC 603 COMPOSTED MULCH SOCK

C. SOIL RETENTION BLANKETS: NMDOT SPEC 603, SOIL RETENTION BLANKET

D. PERMANENT SEED: SEE LANDSCAPE PLAN.

E. RIPRAP: NMDOT SPEC 602, RIPRAP. GEOTEXTILE FOR RIPRAP: NMDOT SPEC 604, GEOTEXTILE FILTER FABRIC

WARNING:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT NM11 (811 OR 1-800-321-2537) AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.





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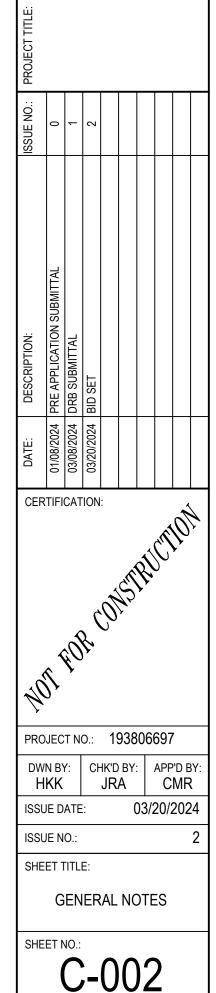
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GRADING NOTES

- 1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- 2. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE, UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO QUANTIFY SOIL IMPORT OR EXPORT FOR THE SITE AND PERFORM THEIR OWN QUANTITY TAKEOFFS FROM THE DRAWINGS FOR BIDDING PURPOSES. EXCESS MATERIAL, UNLESS NOTED OTHERWISE, IS THE PROPERTY OF THE CONTRACTOR AND IS TO BE MOVED AND DISPOSED OF OFFSITE IN ACCORDANCE WITH APPLICABLE LAWS.
- 4. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND ENSURE NO PONDING IN PAVED AREAS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF GRADING DISCREPANCIES ARE FOUND IN EXISTING OR PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT. OBSERVE PAVEMENT AREAS FOR EVIDENCE OF PONDING BEFORE PLACEMENT OF PAVEMENT TO ENSURE DRAINAGE IS ADEQUATE TO INTENDED AREA.
- 5. CONTRACTOR SHALL BACKFILL SUBGRADE AND TRENCH EXCAVATIONS PROMPTLY AFTER EXCAVATION TO HELP OFFSET STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES, TO AVOID UNDERMINING OF EXISTING PAVEMENT, AND FOR PUBLIC SAFETY AND ACCESS TO DRIVEWAYS.
- 6. CONTRACTOR SHALL PROVIDE TOPSOIL, SEED/SOD, MULCH, AND FERTILIZER IN ACCORDANCE WITH THE LANDSCAPE PLAN.
- 7. REFERENCE LANDSCAPE PLAN FOR MINIMUM TOPSOIL THICKNESS
- 8. EXISTING TOPSOIL ON SITE VARIES IN DEPTH. CONTRACTOR SHALL REMOVE SURFACE VEGETATION AND TOPSOIL AND OTHER LOOSE, SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE IMPERVIOUS AREAS AND OTHER AREAS AS DIRECTED BY THE ENGINEER BEFORE PLACEMENT OF SUITABLE FILL MATERIAL
- 9. CONTRACTOR SHALL EXCAVATE AND DISPOSE OF UNSUITABLE OR CONTAMINATED SOILS DISCOVERED ONSITE IN ACCORDANCE WITH APPLICABLE REGULATIONS AND AS DIRECTED BY THE ENGINEER.
- 10. CONTRACTOR SHALL CONSTRUCT/GRADE SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS IN ACCORDANCE WITH CURRENT ADA STATE AND NATIONAL STANDARDS. NOTIFY ENGINEER IN WRITING IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- 11. EXISTING SPOT ELEVATIONS AT MATCH POINTS ARE BASED ON INTERPOLATED POINT TO POINT SURVEY DATA. CONTRACTOR IS RESPONSIBLE FOR VERIFYING CONNECTION POINTS PRIOR TO INSTALLATION OF IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY OF ANY FIELD DISCREPANCIES. CONTRACTOR IS RESPONSIBLE FOR MAKING NECESSARY ADJUSTMENTS IN THE FIELD FOR CONSTRUCTABILITY, REGULATORY COMPLIANCE (ADA), POSITIVE DRAINAGE, AND TO ENSURE SMOOTH TRANSITIONS TO FIELD CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR REWORK OF A DISCREPANCY THAT IS NOT COMMUNICATED TO THE ENGINEER IN WRITING AT NO ADDITIONAL COST TO THE OWNER.
- 12. EXCAVATE, COMPACT EMBANKMENT/SUITABLE FILL AND BACKFILL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND IN ACCORDANCE WITH CITY/UTILITY PROVIDER REQUIREMENTS.
- 13. CONTRACTOR SHALL MEET MOISTURE CONTENT/CONTROL REQUIREMENTS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CITY/UTILITY PROVIDER REQUIREMENTS AND SITE TESTING REQUIREMENTS. 14. ONSITE EMBANKMENT MATERIAL FREE OF ORGANIC SOIL AND DEBRIS MAY BE CONSIDERED FOR REUSE AS
- SUITABLE FILL MATERIAL IN PERVIOUS AREAS BUT MUST BE ACCEPTED BY THE ENGINEER
- 15. IMPORTED SUITABLE FILL MATERIAL NEEDED MAY CONSIST OF SAND (SW, SP), SILTY SAND (SM), CLAYEY SAND (SC), SANDY LEAN CLAY OR LEAN CLAY (CL), ACCORDING TO THE USCS CLASSIFICATION WITH A PLASTIC INDEX OF THESE MATERIALS NOT EXCEEDING 15 AND MUST BE ACCEPTED BY THE ENGINEER BEFORE BRINGING ON THE SITE.
- 16. ANY EXISTING STRUCTURES (I.E. MANHOLES, VALVES, ETC.) WITHIN THE LIMITS OF DISTURBANCE SHALL HAVE RIMS ADJUSTED TO MATCH PROPOSED GRADES, UNLESS NOTED OTHERWISE. ADJUSTMENTS SHALL BE IN ACCORDANCE WITH CITY/UTILITY PROVIDER REQUIREMENTS
- 17. CONTRACTOR SHALL PROVIDE DEWATERING MEASURES AS REQUIRED OR AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- 18. FIELD QUALITY CONTROL: A. SOILS TESTING WILL BE COMPLETED BY A GEOTECHNICAL ENGINEER/INDEPENDENT TESTING AGENCY HIRED BY THE CONTRACTOR AND APPROVED BY THE OWNER. CONTRACTOR SHALL COORDINATE REQUIRED SOILS TESTS AND INSPECTIONS WITH THE ENGINEER.
- B. TESTING SHALL FOLLOW THE FREQUENCY OUTLINED IN NMDOT SPECIFICATIONS/FIELD MANUALS. WHERE NO FREQUENCY IS PROVIDED, CONSULT THE ENGINEER FOR MINIMUM REQUIREMENTS.
- 19. TOLERANACES: A. GRADING ELEVATIONS - CONFORM TO NMDOT SPECIFICATIONS AND THE FOLLOWING: FINISHED GRADING OF SUBGRADE PRIOR TO PLACEMENT OF AGGREGATE BASE COURSES SHALL NOT VARY BY MORE THAN 0.05 FEET ABOVE OR BELOW THE DESIGN, OR ENGINEER ADJUSTED GRADE

UTILITY NOTES

- 1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.
- CONTRACTOR SHALL COMPLY WITH THE SPECIFICATIONS AND REQUIREMENTS NEW MEXICO PLUMBING CODE. NEW MEXICO DOT, NEW MEXICO ENVIRONMENT DEPARTMENT, AND LOCAL REQUIREMENTS FOR MATERIALS, INSTALLATION, AND TESTING OF WATERMAIN UTILITIES.
- 3. CONTRACTOR SHALL COMPLY WITH THE SPECIFICATIONS AND REQUIREMENTS OF CITY/UTILITY PROVIDER SPECIFICATIONS, LOCAL PLUMBING CODE FOR MATERIALS, INSTALLATION, AND TESTING OF WATER AND SANITARY UTILITIES.
- 4. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL WATERLINES, UNLESS OTHERWISE NOTED. PROVIDE HYDRANT EXTENSIONS AND GATE VALVE NUT EXTENSIONS IF WATERLINE IS DEEPER THAN MINIMUM COVER, PROVIDE INSULATION OVER WATERMAIN AND SERVICES WITH PROPOSED ELEVATIONS LESS THAN MINIMUM BURY DEPTH PER PROJECT DETAILS AND UTILITY PROVIDER REQUIREMENTS.
- 5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET COVER ON ALL SANITARY SEWER AND SERVICES, UNLESS OTHERWISE NOTED. PROVIDE INSULATION OVER SANITARY SEWER AND SERVICES WITH PROPOSED ELEVATIONS LESS THAN MINIMUM BURY DEPTH PER PROJECT DETAILS AND UTILITY PROVIDER REQUIREMENTS.
- 6. CONTRACTOR SHALL PROVIDE 10 FEET MINIMUM HORIZONTAL SEPARATION (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE/STRUCTURE) BETWEEN WATER LINES AND SANITARY OR STORM LINES AND STRUCTURES 7. CONTRACTOR SHALL PROVIDE 18 INCH MINIMUM VERTICAL SEPARATION (OUTSIDE EDGE OF PIPE TO OUTSIDE
- EDGE OF PIPE) BETWEEN WATER LINES AND OTHER UTILITY LINE CROSSINGS. PROVIDE INSULATION WHERE WATER, SANITARY OR STORM UTILITIES CROSS. OFFSET WATERMAIN AND SERVICES AS NECESSARY. 8. PIPE LENGTH INDICATED BETWEEN STRUCTURES IS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
- UNLESS NOTED OTHERWISE. 9. PIPE SIZES SHOWN ON THE PLANS ARE INTERNAL PIPE DIAMETER.
- 10. CONTRACTOR SHALL INSTALL TRACER WIRE ON ALL SEWER AND WATER MAINS, LATERALS, SERVICE PIPE AND CONNECTIONS TO RISERS, CURB BOXES, MANHOLES, VALVES, HYDRANTS PER CITY/UTILITY PROVIDER REQUIREMENTS AND PROJECT DETAILS AND SPECIFICATIONS.
- 11. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE WATER LINE MUST INCLUDE ONE FULL LENGTH OF PIPE SO BOTH JOINTS ARE AS FAR FROM THE SEWER/UTILITY AS POSSIBLE AND SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE MINIMUM CLEARANCE.
- 12. WATERMAINS AND SERVICES SHALL NOT HAVE ANY INTERMITTENT HIGH POINTS, EXCEPT AT HYDRANTS OR AS NOTED AT SPECIFIC LOCATIONS ON THE PLANS.
- 13. CONTRACTOR SHALL VERIFY PIPE SIZE, MATERIAL, AND ELEVATION FOR ALL CONNECTIONS. PROVIDE APPROPRIATE PIPES AND FITTINGS REQUIRED TO MAKE CONNECTIONS TO EXISTING INFRASTRUCTURE AS VERIFIED IN THE FIELD IN ACCORDANCE WITH CITY/UTILITY PROVIDER REQUIREMENTS.
- 14. WATER AND SANITARY SEWER SERVICES ARE SHOWN TERMINATING AT THE BUILDING FOOTPRINT BUT ARE DESIGNED TO WITHIN 0 OF THE BUILDING FOOTPRINT. VERIFY WITH MEP/PLUMBING PLANS/DESIGNER FOR EXACT LOCATIONS, ELEVATIONS, AND DIMENSIONS OF BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES), METERS, AND BUILDING UTILITY ENTRANCE LOCATIONS. SERVICE DESIGNS AND INVERTS WITHIN 0 OF THE BUILDING ARE FOR ILLUSTRATIVE AND REFERENCE PURPOSES ONLY. SEE MEP/PLUMBING PLANS FOR CONTINUATION. VERIFY LOCATIONS AND INVERT ELEVATIONS WITH MEP/PLUMBING PLANS. PROVIDE A RISER PIPE AS NEEDED TO MATCH PLUMBING PIPING.
- 15. WATER AND SANITARY SEWER SERVICE SIZES AND ALIGNMENT ARE BASED ON MEP DESIGN. VERIFY SIZE AND ALIGNMENT W/ MEP PLANS. IN THE EVENT THE FINAL SIZE OR ALIGNMENT IS DIFFERENT THAN SHOWN, CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER IN WRITING IMMEDIATELY.
- 16. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING IN ACCORDANCE WITH AGENCY HAVING JURISDICTION REQUIREMENTS.
- 17. CONTRACTOR SHALL PLACE AND COMPACT SUITABLE FILL MATERIAL BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 18. ANY EXISTING STRUCTURES (I.E. MANHOLES, VALVES, ETC.) WITHIN THE LIMITS OF DISTURBANCE SHALL HAVE RIMS ADJUSTED TO MATCH PROPOSED GRADES, UNLESS NOTED OTHERWISE. ADJUSTMENTS SHALL BE IN ACCORDANCE WITH CITY/AGENCY HAVING JURISDICTION REQUIREMENTS.

UTILITY NOTES CONT'D

- 19. SANITARY SEWER MAIN, SERVICE PIPES, FITTINGS, AND STRUCTURES SHALL MEET THE FOLLOWING REQUIREMENTS:
- A. SANITARY SERVICE PIPE: PVC SCHEDULE 40 PER ASTM D1785 B. SANITARY MAIN PIPE (TO 16 FT DEPTH): PVC SDR 26 PER ASTM D3034
- C. SANITARY MAIN PIPE (16 FT TO 25 FT DEPTH): PVC SDR 26 PER ASTM D3034
- E. SANITARY PIPE GASKETS: ASTM F477 FOR SDR AND C900 PIPE F. SANITARY PIPE JOINTS: ASTM D3212 FOR SDR PIPE
- G. SANITARY SYSTEM TRACER WIRE: CITY REQUIREMENTS
- H. SANITARY PRECAST STRUCTURE: CONFORM TO THE DETAILS/STANDARD PLATES AS SHOWN ON THE DRAWINGS INCLUDING INTEGRAL BASE SECTIONS AND RUBBER GASKETED TONGUE AND GROOVE JOINTS, UNLESS SHOWN OTHERWISE. ALL PIPE OPENINGS SHALL HAVE INTEGRAL CAST WATERTIGHT SEAL.
- I. SANITARY PRECAST STRUCTURE DESIGN: THE STRUCTURE BASE SLAB, PERIMETER WALLS, AND TOP SLAB SHALL BE DESIGNED FOR SHEAR STRENGTH, FLEXURAL STRENGTH, AND OTHER APPLICABLE STRENGTHS DUE TO HYDROSTATIC LOADING. THE DESIGN OF THE STRUCTURE SHALL CONFORM TO A MINIMUM FACTOR OF SAFETY OF 1.3 FOR BUOYANCY AND FLOTATION. THE HYDROSTATIC LOADING (WATER TABLE ELEVATIONS) SHALL BE ASSUMED FROM THE TOP OF THE STRUCTURE. THE STRUCTURE SHALL BE DESIGNED AND DETAILED PREPARED BY A PROFESSIONAL ENGINEER, EXPERIENCED IN PRECAST CONCRETE MANHOLE DESIGN, WHO IS LICENSED IN THE STATE OF NEW MEXICO.
- J. SANITARY PIPE/STRUCTURE CONNECTION: CONTRACTOR SHALL PROVIDE AND INSTALL A FLEXIBLE COMPRESSION JOINT TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES IN ACCORDANCE WITH THE UTILITY PROVIDER REQUIREMENTS AND AUTHORITY HAVING JURISDICTION.
- K. STRUCTURE ADJUSTMENT RINGS: CONCRETE WITH MINIMUM 3,000 PSI COMPRESSIVE STRENGTH, SINGLE HOOP
- 8-GAUGE STEEL WIRE REINFORCEMENT, AND 2 INCH THICKNESS EACH RING L. ADHESION MATERIAL: BETWEEN TOP SLAB AND BARREL SECTION - RAM-NEK OR APPROVED EQUAL FOR CONCRETE RINGS, USE AIR ENTRAINED UNDERGROUND UTILITY MORTAR IN ACCORDANCE WITH ASTM C270, ASTM
- C387, AND MANUFACTURER REQUIREMENTS. M. EXTERNAL/INTERNAL SEALS: IN ACCORDANCE WITH CITY REQUIREMENTS
- 20. WATERMAIN, SERVICE PIPES AND FITTINGS TO MEET THE FOLLOWING REQUIREMENTS: A. WATER SERVICE PIPING - 4 INCHES AND LARGER: PVC C900 DR 18 PER AWWA C 900, PER CURRENT WATER AUTHORITY APPROVED PRODUCTS LIST.
- B. WATER SERVICE PIPE FITTINGS 4 INCHES AND LARGER: AWWA C153, 250 PSI WORKING PRESSURE WITH INTERNAL AND EXTERNAL COATING PER AWWA C116 C. WATERMAIN PIPING: PVC C900 DR 18 PER AWWA C 900, PER CURRENT WATER AUTHORITY APPROVED PRODUCTS
- LIST. D. WATERMAIN PIPE FITTINGS: AWWA C153 DUCTILE IRON COMPACT FITTINGS, 250 PSI WORKING PRESSURE WITH INTERNAL AND EXTERNAL COATING PER AWWA C116
- E. WATERMAIN PIPE JOINTS: AWWA C111 WITH MECHANICAL JOINTS AND THRUST BLOCKING PER PROJECT DETAILS. F. WATERMAIN STUBS: MECHANICALLY RESTRAINED JOINTS WITH THRUST BLOCKING PER PROJECT DETAILS.
- G. WATER SYSTEM TRACER WIRE: CITY REQUIREMENTS H. ENCASEMENT: POLYETHYLENE FILM PER AWWA C105. ENCASE DUCTILE IRON PIPE, FITTINGS, VALVES, AND OTHER APPURTENANCES
- I. JOINT RESTRAINT: PROVIDE AT ALL BENDS, TEES, AND DEAD-ENDS/STUBS IN ACCORDANCE WITH THE UTILITY PROVIDER REQUIREMENTS AND EBAA IRON RESTRAINT LENGTH CALCULATOR. J. THRUST BLOCKING: PROVIDE BLOCKING IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS.
- K. HYDRANTS: PER UTILITY PROVIDER REQUIREMENTS L. VALVES: PER UTILITY PROVIDER REQUIREMENTS
- 21. IF MANUFACTURER DETAILS SPECIFY DESIGN COMPONENTS TO BE DETERMINED BY SITE DESIGN ENGINEER, CONTRACTOR IS RESPONSIBLE FOR CONTACTING SITE DESIGN ENGINEER TO VERIFY SYSTEM REQUIREMENTS PRIOR TO CONSTRUCTION IF NOT NOTED IN THE DRAWINGS.
- 22. CONTRACTOR SHALL COMPACT EMBANKMENT/BEDDING/BACKFILL MATERIAL IN ACCORDANCE WITH NMDOT SPEC 660, THE GEOTECHNICAL REPORT, AND SITE TESTING REQUIREMENTS. 23. CONTRACTOR SHALL MEET MOISTURE CONTENT/CONTROL REQUIREMENTS IN ACCORDANCE WITH NMDOT SPECS
- 203, 206, 207, 209, 303, THE GEOTECHNICAL REPORT, AND SITE TESTING REQUIREMENTS. 24. FIELD QUALITY CONTROL, TESTING, INSPECTIONS, AND CERTIFICATIONS MUST COMPLY WITH THE FOLLOWING: A. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, AGENCY HAVING JURISDICTION AND UTILITY PROVIDER COMPANIES.
- B. SANITARY LINES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO: 1) SERVICE PIPE AND STRUCTURES TESTING: MEET LOCAL PLUMBING CODE REQUIREMENTS/UTILITY
- PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS 2) LEAKAGE TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS
- 3) DEFLECTION TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS 4) TELEVISING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS 5) CONDUCTIVITY/TRACING TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION
- REQUIREMENTS C. WATER LINES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO: 1) SERVICE PIPE AND STRUCTURES TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS, NEW MEXICO ENVIRONMENT DEPARTMENT, NEW MEXICO PLUMBING CODE, AND LOCAL WATER
- AUTHORITY 2) HYDROSTATIC PRESSURE TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION
- REQUIREMENTS 3) DISINFECTION TESTING: MEET CITY OR STATE REQUIREMENTS (AWWA C651)
- 4) CONDUCTIVITY/TRACING TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS
- D. SERVICE TRENCH COMPACTION TESTING: IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS.
- E. SANITARY MAIN TRENCH COMPACTION TESTING: IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS. F. SANITARY STRUCTURE COMPACTION TESTING: IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS. G. WATERMAIN TRENCH COMPACTION TESTING: IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS. H. WATER STRUCTURE/VALVE COMPACTION TESTING: IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS.
- 25. TOLERANCES: A. SANITARY PIPE HORIZONTAL: WITHIN 0.50 FEET OF ALIGNMENT
- B. SANITARY PIPE VERTICAL: ZERO PLUS AND 0.08 FEET MINUS ELEVATION SHOWN WITH NO INTERMEDIATE HIGH POINTS, LEVEL SECTION, OR REVERSE INVERT SLOPE.
- C. SANITARY PIPE JOINT DEFLECTION: NO MORE THAN 75% OF MAXIMUM ALLOWABLE, AS RECOMMENDED BY
- MANUFACTURERS OF PIPE AND JOINT MATERIAL
- E. WATER PIPE HORIZONTAL: WITHIN 0.50 FEET OF ALIGNMENT
- F. WATER PIPE VERTICAL: 0 FEET PLUS AND 1 FEET MINUS ELEVATION SHOWN, WHILE MEETING THE MINIMUM SEPARATION REQUIREMENTS AT CROSSINGS.
- G. WATER PIPE JOINT DEFLECTION: NO MORE THAN 75% OF MAXIMUM ALLOWABLE, AS RECOMMENDED BY
- MANUFACTURERS OF PIPE AND JOINT MATERIAL H. HYDRANT/VALVE/CASTING ELEVATION: WITHIN 0.05 FEET OF FINAL ELEVATION. VALVE/TRACER WIRE BOXES, CURB STOPS, AND CASTINGS SHALL NOT EXTEND ABOVE FINAL PAVED SURFACE ELEVATION

STORM SEWER NOTES

- 1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION. 2. CONTRACTOR SHALL COMPLY WITH THE SPECIFICATIONS OF THE CITY/UTILITY PROVIDER, NMDOT, NEW MEXICO ENVIRONMENT DEPARTMENT, AND LOCAL PLUMBING CODE FOR MATERIALS, INSTALLATION, AND TESTING OF STORM UTILITIES.
- 3. CONTRACTOR SHALL PROVIDE 10 FEET SEPARATION (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE/STRUCTURE) BETWEEN WATER LINES AND SANITARY OR STORM LINES AND STRUCTURE.
- 4. CONTRACTOR SHALL PROVIDE 18 INCH MINIMUM VERTICAL SEPARATION (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE/STRUCTURE) BETWEEN WATER LINES AND OTHER UTILITY LINES. PROVIDE INSULATION WHERE
- WATER, SANITARY, OR STORM UTILITIES CROSS. OFFSET WATERMAIN AND SERVICES AS NECESSARY. 5. CONTRACTOR SHALL VERIFY PIPE SIZE, MATERIAL, AND ELEVATION FOR CONNECTIONS. PROVIDE APPROPRIATE
- PIPES AND FITTINGS REQUIRED TO MAKE CONNECTIONS TO EXISTING INFRASTRUCTURE AS VERIFIED IN THE FIELD. 6. CONTRACTOR SHALL PLACE AND COMPACT SUITABLE FILL MATERIAL BEFORE INSTALLATION OF PROPOSED UTILITIES.

STORM SEWER NOTES CONT'D

D. SANITARY PIPE FITTINGS: ASTM D2665 FOR SDR AND SCH 40 PVC PIPE, INJECTION MOLDED (GRAVITY LINES ONLY)

- D. SANITARY STRUCTURE RIM ELEVATIONS: ZERO PLUS AND 0.08 FEET MINUS ELEVATION SHOWN

- 7. DRAINTILE/SUBSOIL DRAIN AROUND BUILDING PERIMETER NOT SHOWN ON CIVIL DRAWINGS. CONTRACTOR SHALL VERIFY IF DRAINTILE REQUIRED WITH ARCHITECT/STRUCTURAL/MEP AND COORDINATE CONNECTION TO STORM SYSTEM WITH ENGINEER.
- 8. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING IN ACCORDANCE WITH AGENCY HAVING JURISDICTION REQUIREMENTS. 9. PIPE LENGTH INDICATED BETWEEN STRUCTURES IS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE
- UNLESS NOTED OTHERWISE. PIPE LENGTH INDICATED BETWEEN STRUCTURE AND FLARED END SECTION IS FROM CENTER OF STRUCTURE TO END OF FLARED END SECTION.
- 10. PIPE SIZES SHOWN ON THE PLANS ARE INTERNAL PIPE DIAMETER
- 11. IF MANUFACTURER DETAILS SPECIFY DESIGN COMPONENTS TO BE DETERMINED BY SITE DESIGN ENGINEER, CONTRACTOR IS RESPONSIBLE FOR CONTACTING SITE DESIGN ENGINEER TO VERIFY SYSTEM REQUIREMENTS PRIOR TO CONSTRUCTION IF NOT NOTED IN THE DRAWINGS.
- 12. STORM SEWER MAINS, SERVICE PIPES, FITTINGS, AND STRUCTURES TO MEET THE FOLLOWING REQUIREMENTS: A. PVC PIPE: PVC C900 DR 18 PER AWWA C 900, ASTM D1784, ASTM F477. INTEGRAL BELL WITH ELASTOMERIC GASKET JOINTS PROVIDING A WATER-TIGHT SEAL. INJECTION MOLDED FITTINGS.
- B. CORRUGATED PIPE FLARED END SECTION: ADVANCED DRAINAGE SYSTEMS METAL FLARED END SECTION FOR HDPE PIPE OR EQUAL
- C. ROOF DRAIN PIPE AND FITTINGS: PVC C900 DR 18 PER AWWA C 900. INJECTION MOLDED FITTINGS. D. PIPE JOINTS: JOINTS MUST BE CERTIFIED BY THE MANUFACTURER TO BE ABLE TO PASS THE AIR TEST OR
- INTERNAL HYDROSTATIC PRESSURE REQUIRED BY THE AGENCY HAVING JURISDICTION.
- E. PIPE CONNECTION TO EXISTING PIPE: FOR DISSIMILAR PIPE CONNECTIONS USE FLEXIBLE TRANSITION COUPLINGS PER ASTM C1173 AND D5926
- F. PIPE CONNECTION TO EXISTING STORM STRUCTURE: CONTRACTOR SHALL PROVIDE AND INSTALL A FLEXIBLE COMPRESSION JOINT TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES IN ACCORDANCE WITH UTILITY PROVIDER REQUIREMENTS. RESILIENT RUBBER JOINTS MEETING ASTM C923 MAY BE USED IF APPROVED BY AGENCY HAVING JURISDICTION, SEE PROJECT DETAILS.
- G. AREA DRAIN INLETS: NYLOPLAST HEAVY DUTY DRAIN BASIN W/ DUCTILE IRON LOCKABLE COVER OR APPROVED EQUAL, SEE PLAN FOR GRATE TYPE AND SIZING.
- H. STORM PRECAST STRUCTURES GENERAL: ASTM C478 AND DRAWING DETAILS.
- I. STORM PRECAST STRUCTURE JOINTS: RUBBER O-RING GASKET MEETING ASTM C443
- J. STORM PRECAST STRUCTURE STEPS: PER DETAILS
- K. STORM PRECAST STRUCTURE DESIGN: DETAILED AND PREPARED BY A PROFESSIONAL ENGINEER EXPERIENCED IN PRECAST CONCRETE STRUCTURE DESIGN WHO IS LICENSED IN THE STATE OF NEW MEXICO. DESIGN SHALL CONFORM TO A MINIMUM SAFETY FACTOR OF 1.3 FOR BUOYANCY AND FLOTATION WITH THE HYDROSTATIC LOADING (WATER TABLE ELEVATIONS) ASSUMED FROM THE TOP OF THE STRUCTURE. THE DESIGN OF THE BASE SLAB, WALLS, AND TOP SLAB SHALL BE DESIGNED FOR SHEAR STRENGTH, FLEXURAL STRENGTH, AND OTHER APPLICABLE STRENGTHS DUE TO HYDROSTATIC LOADING. THE DESIGN SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACI 318, AASHTO, AND NMDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, EXCEPT AS NOTED.
- L. STORM PRECAST STRUCTURE MORTAR MATERIALS: ASTM C270 AND ASTM C387 WITH AIR CONTENT OF AT LEAST 8 PERCENT
- M. STORM PRECAST STRUCTURE ADJUSTMENT RINGS: SIZE TO MATCH CONE OR OPENING IN TOP SLAB. CONCRETE WITH MINIMUM 3,000 PSI COMPRESSIVE STRENGTH, SINGLE HOOP 8-GAUGE STEEL WIRE REINFORCEMENT, AND 2 INCH THICKNESS EACH RING
- N. STORM PRECAST STRUCTURE ADHESION MATERIAL: BETWEEN TOP SLAB AND BARREL SECTION RAM-NEK OR APPROVED EQUAL. FOR CONCRETE RINGS, USE MORTAR MATERIALS.
- O. STORM PRECAST STRUCTURE INTERNAL/EXTERNAL SEAL: IN ACCORDANCE WITH CITY REQUIREMENTS 13. STORM PIPE BEDDING: CONTRACTOR SHALL INSTALL AND PROVIDE BEDDING FOR PIPING/STORMWATER
- SYSTEMS/VAULTS/CHAMBERS/ STRUCTURES IN ACCORDANCE WITH UTILITY PROVIDER, ASTM D 2321 AND ASTM F 1668 (FOR GRAVITY SEWER), ASTM D 2774 (FOR PRESSURE PIPE), ASTM C 1479 (FOR RC PIPE), AWWA C600 (FOR DIP PIPE), AWWA C605 (FOR PVC), ASTM A 798 (FOR CMP), AND PROJECT/MANUFACTURER DETAILS AND SPECIFICATIONS.
- 14. STORM SYSTEM TRACER WIRE: MEET AUTHORITY HAVING JURISDICTION REQUIREMENTS
- 15. CONTRACTOR SHALL COMPACT EMBANKMENT/BEDDING/BACKFILL MATERIAL IN ACCORDANCE WITH CITY/UTILITY PROVIDER REQUIREMENTS, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, AND SITE TESTING REQUIREMENTS.
- 16. CONTRACTOR SHALL MEET MOISTURE CONTENT/CONTROL REQUIREMENTS IN ACCORDANCE WITH CITY/UTILITY PROVIDER REQUIREMENTS, THE GEOTECHNICAL REPORT, AND SITE TESTING REQUIREMENTS.
- 17. FIELD QUALITY CONTROL, TESTING, INSPECTIONS, AND CERTIFICATIONS MUST COMPLY WITH THE FOLLOWING: A. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, AGENCY HAVING JURISDICTION AND UTILITY SERVICE COMPANIES.
- B. STORM LINES AND STRUCTURES, INCLUDING BUT NOT LIMITED TO:
- 1) SERVICE PIPE AND ROOF DRAIN LEADERS TESTING TO COMPLY WITH LOCAL PLUMBING CODE/CITY/AGENCY HAVING JURISDICTION.
- 2) ALL PORTIONS OF SYSTEM (PIPE AND STRUCTURES) THAT PASS WITHIN 10 FEET OF A WATER LINE, WITHIN 10 FEET OF A BUILDING, WITHIN 50 FEET OF WATER WELLS, OR THAT PASS THROUGH SOIL OR WATER IDENTIFIED AS BEING CONTAMINATED MUST BE TESTED IN ACCORDANCE WITH CITY/AGENCY HAVING JURISDICTION.
- 3) STORM PIPE DEFLECTION TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS
- 4) STORM PIPE LEAKAGE TESTING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS 5) STORM PIPE LAMPING: VERIFY INSTALLATION IS TRUE TO LINE AND GRADE. VERIFY INSTALLED PIPE IS
- STRUCTURALLY SOUND. VERIFY THERE ARE NO BROKEN OR DEFLECTIVE PIPES. VERIFY THAT JOINTS ARE ALL PUSHED HOME. VERIFY STRUCTURES CONFORM TO SPECIFIED REQUIREMENTS. PROVIDE VERIFICATION OF THE ABOVE IN WRITING TO THE OWNER AND ENGINEER.
- 6) STORM PIPE INFILTRATION TESTING: IN ACCORDANCE WITH THE CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION
- 7) STORM PIPE CONTINUITY TESTING: IN ACCORDANCE WITH THE CITY/UTILITY PROVIDER/AUTHORITY HAVING JURISDICTION.
- 8) TELEVISING: MEET CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION REQUIREMENTS
- 9) STORM PIPE TRENCH COMPACTION TESTING: IN ACCORDANCE WITH THE CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION
- 10) STORM CULVERT TRENCH COMPACTION TESTING: IN ACCORDANCE WITH THE CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION
- 11) STORM STRUCTURE COMPACTION TESTING: IN ACCORDANCE WITH CITY/UTILITY PROVIDER/AGENCY HAVING JURISDICTION
- 12) BASIN INFILTRATION TESTING: IN ACCORDANCE WITH CITY/AGENCY HAVING JURISDICTION
- C. A COPY OF THE TEST RESULTS MUST BE PROVIDED TO THE OWNER, ENGINEER, UTILITY PROVIDER, AND AGENCY HAVING JURISDICTION
- 18. CONTRACTOR SHALL CLEAN STRUCTURES AND PIPING OF DEBRIS AND SEDIMENT DURING AND AT THE END OF CONSTRUCTION UNTIL ACCEPTED BY THE OWNER AND ENGINEER.
- 19. REFER TO THE MEP PLANS FOR EXACT LOCATIONS, ELEVATIONS, AND DIMENSIONS OF BUILDING STORM UTILITY ENTRANCE LOCATIONS.

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TEST REPORTS REQUIRED

- 4
- JURISDICTION.

STORM SEWER NOTES CONT'D

20. TOLERANCES:

A. STORM PIPE HORIZONTAL TOLERANCE: WITHIN 0.50 FEET OF ALIGNMENT

B. STORM PIPE VERTICAL TOLERANCE: ZERO PLUS AND 0.08 FEET MINUS ELEVATION SHOWN WITH NO INTERMEDIATE HIGH POINTS, LEVEL SECTION, OR REVERSE INVERT SLOPE.

C. STORM PIPE JOINT DEFLECTION TOLERANCE: NO MORE THAN 75% OF MAXIMUM ALLOWABLE, AS RECOMMENDED BY MANUFACTURERS OF PIPE AND JOINT MATERIAL D. STORM STRUCTURE RIM ELEVATION TOLERANCE: ZERO PLUS AND 0.08 FEET MINUS ELEVATION SHOWN

HORIZONTAL AND VERTICAL CONTROL NOTES

SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.

THE HORIZONTAL CONTROL FOR THIS PLAN IS NAD83 NEW MEXICO STATE PLANES, CENTRAL ZONE, US FOOT 3. THE VERTICAL CONTROL FOR THE PLAN IS NAVD88

4. COORDINATE ADJUSTMENT FACTOR = 1.0003231864 MULTIPLY COORDINATES BY COORDINATE ADJUSTMENT FACTOR TO GET TO STATE PLANE.

TYPICAL OWNER / ENGINEER OBSERVATIONS

1. SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION.

CONTRACTOR MUST NOTIFY OWNER, ENGINEER, AND CITY IN WRITING A MINIMUM OF 3 BUSINESS DAYS IN ADVANCE OF THE FOLLOWING ACTIVITIES FOR ATTENDENCE AND OBSERVATION: PRE-CONSTRUCTION MEETING, UNDERGROUND PIPING AND UTILITIES INSTALLATION, UTILITY TESTING, STRUCTURES AND APPURTENANCES INSTALLATION, SUBGRADE PREPARATION, BASE INSTALLATION, CURB INSTALLATION, AND PAVEMENT INSTALLATION.

SEE GENERAL NOTES FOR ADDITIONAL PROJECT AND SITE INFORMATION. COPIES OF COMPACTION/MOISTURE, CONCRETE, AND OTHER TEST RESULTS ARE TO BE SENT TO THE OWNER

DIRECTLY FROM THE INDEPENDENT TESTING LABORATORY. ONSITE/INPLACE GEOTECHNICAL/CONCRETE TESTING MUST BE COMPLETED BY THE CONTRACTOR'S INDEPENDENT TESTING LABORATORY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED IN-PLACE TESTS AND INSPECTIONS WITH THE ENGINEER/INDEPENDENT TESTING LABORATORY.

TEST REPORTS REQUIRED MAY INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO: DENSITY TESTS OF SOIL AND PAVEMENT COMPACTION. CONCRETE COMPRESSION. AIR. AND SLUMP TESTS. BACTERIOLOGICAL TESTS OF WATER SYSTEM, MANDREL TESTS OF SANITARY AND STORM SYSTEM, PRESSURE/LEAK TESTS OF WATER/SANITARY/STORM SYSTEM, AND OTHER TESTING REQUIRED BY AGENCY/MUNICIPALITY HAVING

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL

THE CONTRACTOR SHALL CONTACT NM11 (811 OR 1-800-321-2537) AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE

(EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS,

PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR

COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

RE-WORK/RE-TESTING DUE TO FIELD TEST FAILURE ARE AT NO ADDITIONAL COST TO THE OWNER.



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GENERAL NOTES

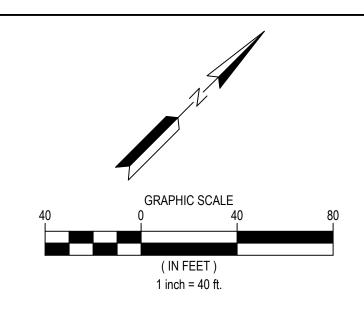
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NOTES

1. SEE SHEET C-002 FOR ADDITIONAL PROJECT NOTES

PROPERTY BOUNDARY LOT LINE EASEMENT LINE RIGHT OF WAY LINE SECTION LINE QUARTER LINE EXISTING FENCE LINE EXISTING RETAINING WALL LINE EXISTING WATERMAIN EXISTING SANITARY SEWER EXISTING UNDERGROUND ELECTRIC LINE EXISTING EDGE OF GRAVEL EXISTING CURB AND GUTTER EXISTING DITCH CENTERLINE EXISTING CONCRETE SURFACE EXISTING ASPHALT SURFACE EXISTING GRAVEL SURFACE EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING CULVERT



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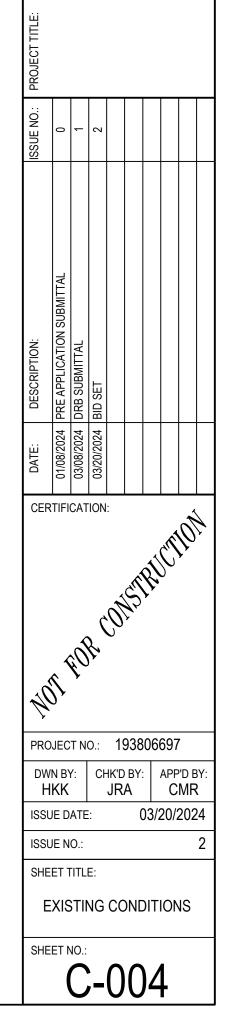
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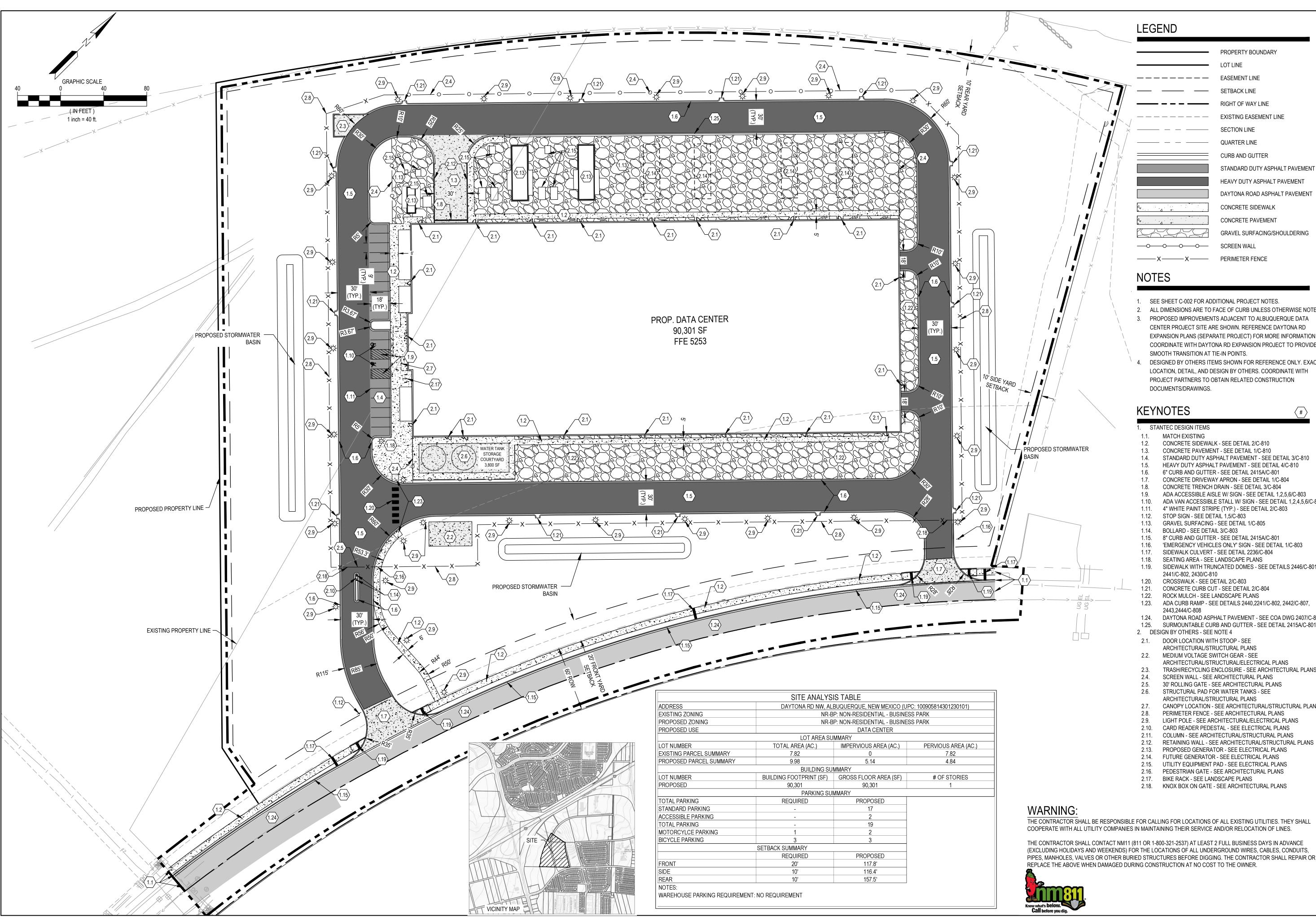


THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE CONTRACTOR SHALL CONTACT NM11 (811 OR 1-800-321-2537) AT LEAST 2 FULL BUSINESS DAYS IN ADVANCE (EXCLUDING HOLIDAYS AND WEEKENDS) FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.





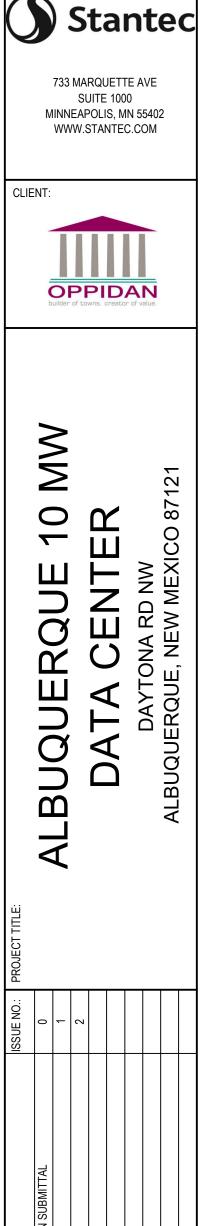


- 2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED
- CENTER PROJECT SITE ARE SHOWN. REFERENCE DAYTONA RD EXPANSION PLANS (SEPARATE PROJECT) FOR MORE INFORMATION. COORDINATE WITH DAYTONA RD EXPANSION PROJECT TO PROVIDE
- DESIGNED BY OTHERS ITEMS SHOWN FOR REFERENCE ONLY. EXACT LOCATION, DETAIL, AND DESIGN BY OTHERS. COORDINATE WITH PROJECT PARTNERS TO OBTAIN RELATED CONSTRUCTION

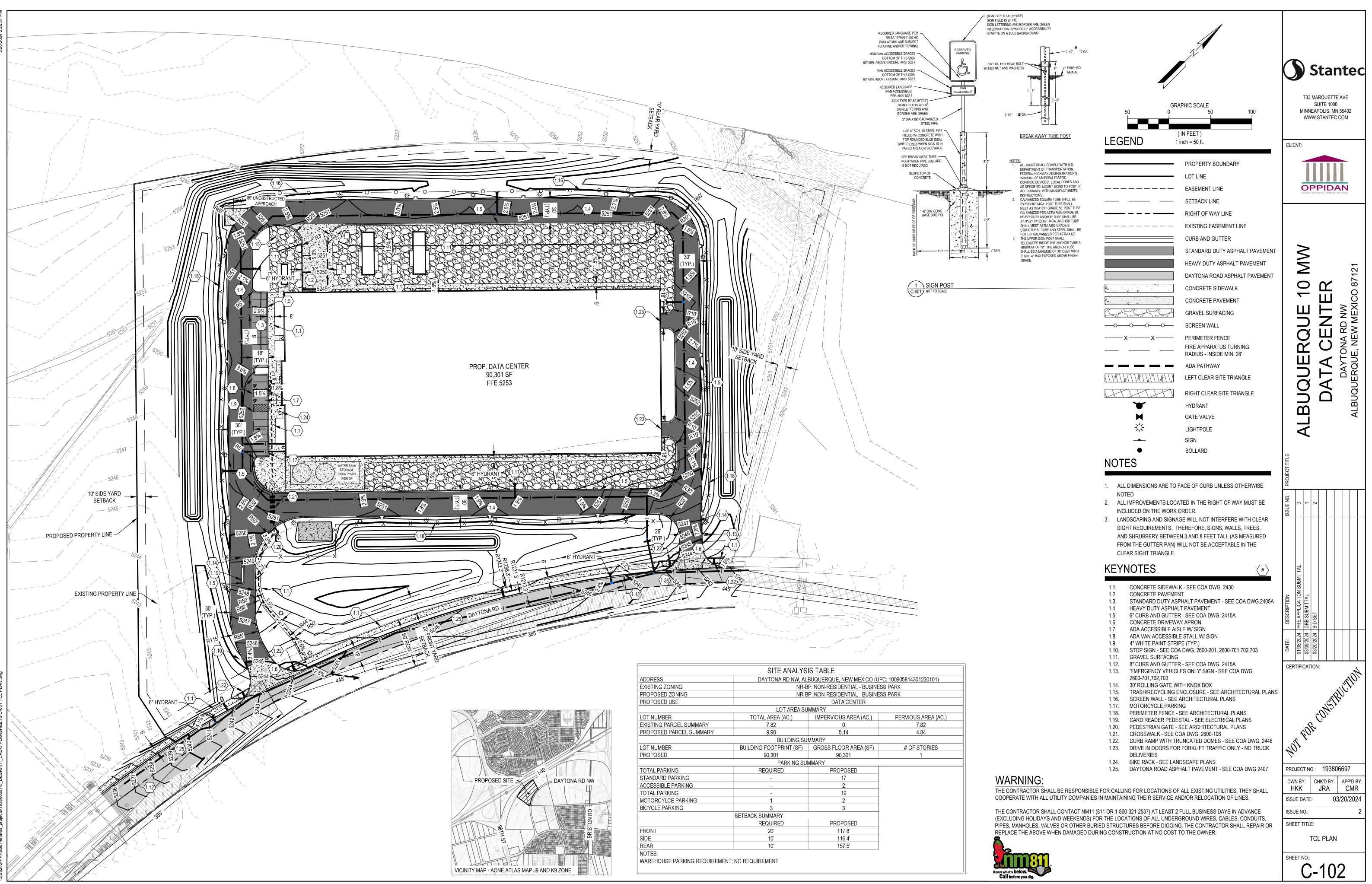
- STANDARD DUTY ASPHALT PAVEMENT SEE DETAIL 3/C-810 HEAVY DUTY ASPHALT PAVEMENT - SEE DETAIL 4/C-810 6" CURB AND GUTTER - SEE DETAIL 2415A/C-801 CONCRETE DRIVEWAY APRON - SEE DETAIL 1/C-804 CONCRETE TRENCH DRAIN - SEE DETAIL 3/C-804 ADA ACCESSIBLE AISLE W/ SIGN - SEE DETAIL 1,2,5,6/C-803 ADA VAN ACCESSIBLE STALL W/ SIGN - SEE DETAIL 1,2,4,5,6/C-803 4" WHITE PAINT STRIPE (TYP.) - SEE DETAIL 2/C-803 8" CURB AND GUTTER - SEE DETAIL 2415A/C-801 'EMERGENCY VEHICLES ONLY' SIGN - SEE DETAIL 1/C-803 SIDEWALK WITH TRUNCATED DOMES - SEE DETAILS 2446/C-801, ADA CURB RAMP - SEE DETAILS 2440,2241/C-802, 2442/C-807, 1.24. DAYTONA ROAD ASPHALT PAVEMENT - SEE COA DWG 2407/C-802 1.25. SURMOUNTABLE CURB AND GUTTER - SEE DETAIL 2415A/C-801 ARCHITECTURAL/STRUCTURAL/ELECTRICAL PLANS TRASH/RECYCLING ENCLOSURE - SEE ARCHITECTURAL PLANS 30' ROLLING GATE - SEE ARCHITECTURAL PLANS CANOPY LOCATION - SEE ARCHITECTURAL/STRUCTURAL PLANS PERIMETER FENCE - SEE ARCHITECTURAL PLANS LIGHT POLE - SEE ARCHITECTURAL/ELECTRICAL PLANS CARD READER PEDESTAL - SEE ELECTRICAL PLANS
- RETAINING WALL SEE ARCHITECTURAL/STRUCTURAL PLANS PROPOSED GENERATOR - SEE ELECTRICAL PLANS FUTURE GENERATOR - SEE ELECTRICAL PLANS
- PEDESTRIAN GATE SEE ARCHITECTURAL PLANS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL

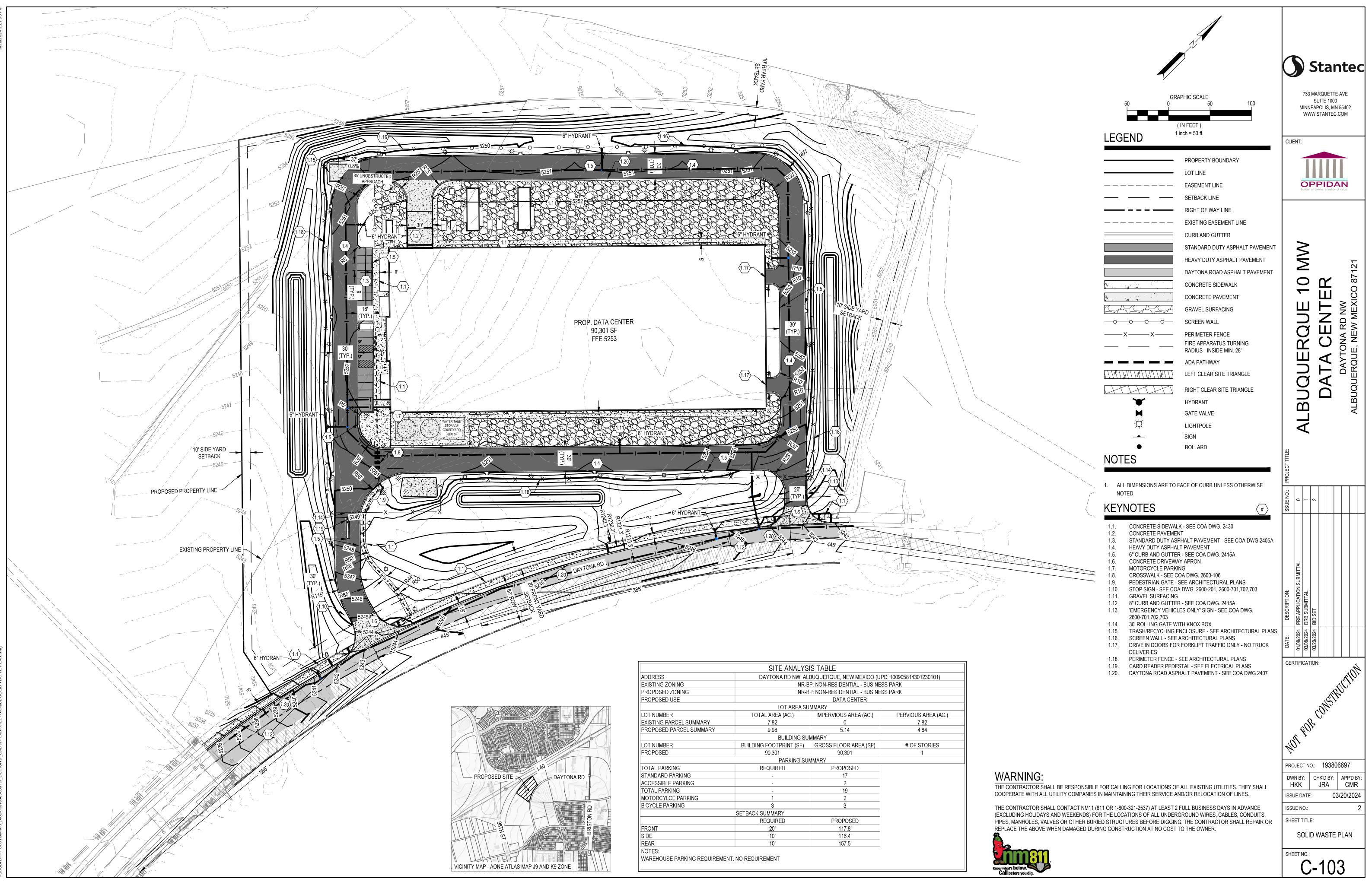
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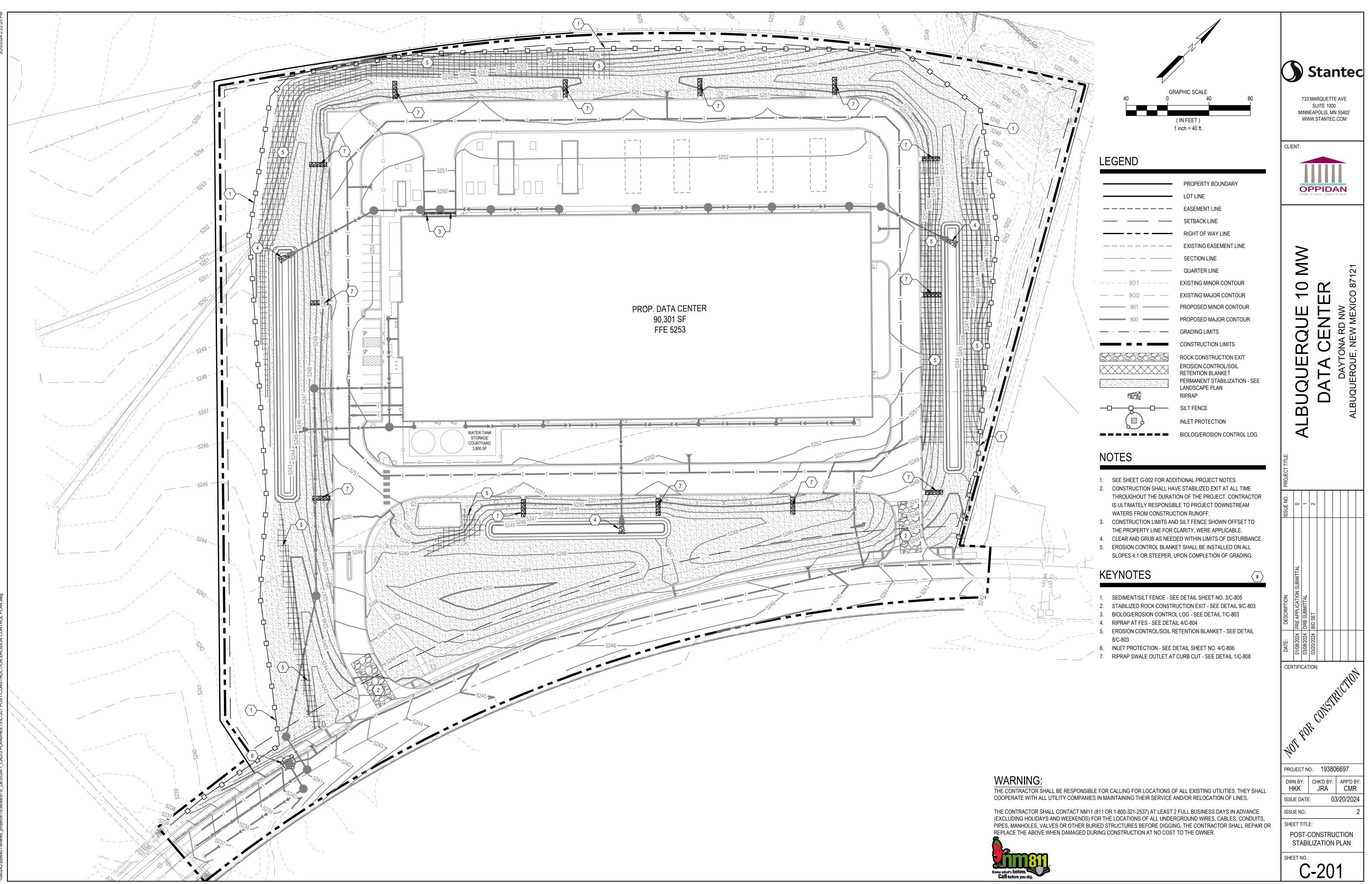
CERTIFICATION: CONSTRUCTION PROJECT NO.: 193806697 DWN BY: CHK'D BY: APP'D BY: HKK | JRA | CMR 03/20/2024 ISSUE DATE: ISSUE NO .: SHEET TITLE: SITE PLAN SHEET NO .: C-101

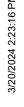


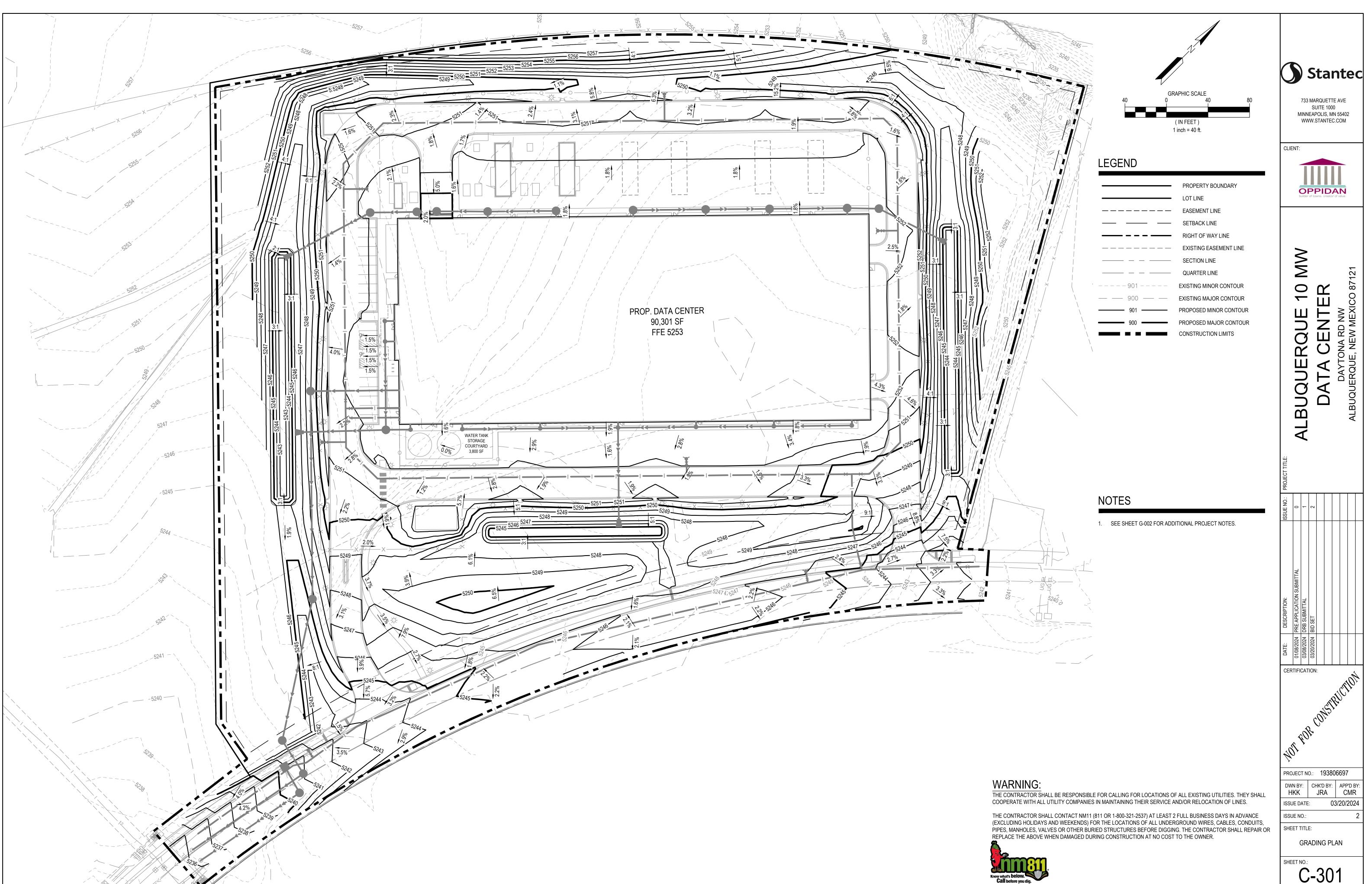
| | SITE ANALYS | IS TABLE | | | | | |
|---|--|-----------------------|---------------------|--|--|--|--|
| ADDRESS | DAYTONA RD NW, ALBUQUERQUE, NEW MEXICO (UPC: 100905814301230101) | | | | | | |
| EXISTING ZONING | NR-BP: NON-RESIDENTIAL - BUSINESS PARK | | | | | | |
| PROPOSED ZONING | NR-BP: NON-RESIDENTIAL - BUSINESS PARK | | | | | | |
| PROPOSED USE | DATA CENTER | | | | | | |
| LOT AREA SUMMARY | | | | | | | |
| LOT NUMBER | TOTAL AREA (AC.) | IMPERVIOUS AREA (AC.) | PERVIOUS AREA (AC.) | | | | |
| EXISTING PARCEL SUMMARY | 7.82 | 0 | 7.82 | | | | |
| PROPOSED PARCEL SUMMARY | 9.98 | 5.14 | 4.84 | | | | |
| BUILDING SUMMARY | | | | | | | |
| LOT NUMBER | BUILDING FOOTPRINT (SF) | GROSS FLOOR AREA (SF) | # OF STORIES | | | | |
| PROPOSED | 90,301 | 90,301 | 1 | | | | |
| | PARKING SUM | MMARY | | | | | |
| TOTAL PARKING | REQUIRED | PROPOSED | | | | | |
| STANDARD PARKING | - | 17 | | | | | |
| ACCESSIBLE PARKING | - | 2 | | | | | |
| TOTAL PARKING | - | 19 | | | | | |
| MOTORCYLCE PARKING | 1 | 2 | | | | | |
| BICYCLE PARKING | 3 | 3 | | | | | |
| SETBACK SUMMARY | | | | | | | |
| | REQUIRED | PROPOSED | | | | | |
| FRONT | 20' | 117.8' | | | | | |
| SIDE | 10' | 116.4' | | | | | |
| REAR | 10' | 157.5' | | | | | |
| NOTES: | | | | | | | |
| WAREHOUSE PARKING REQUIREMENT. NO REQUIREMENT | | | | | | | |



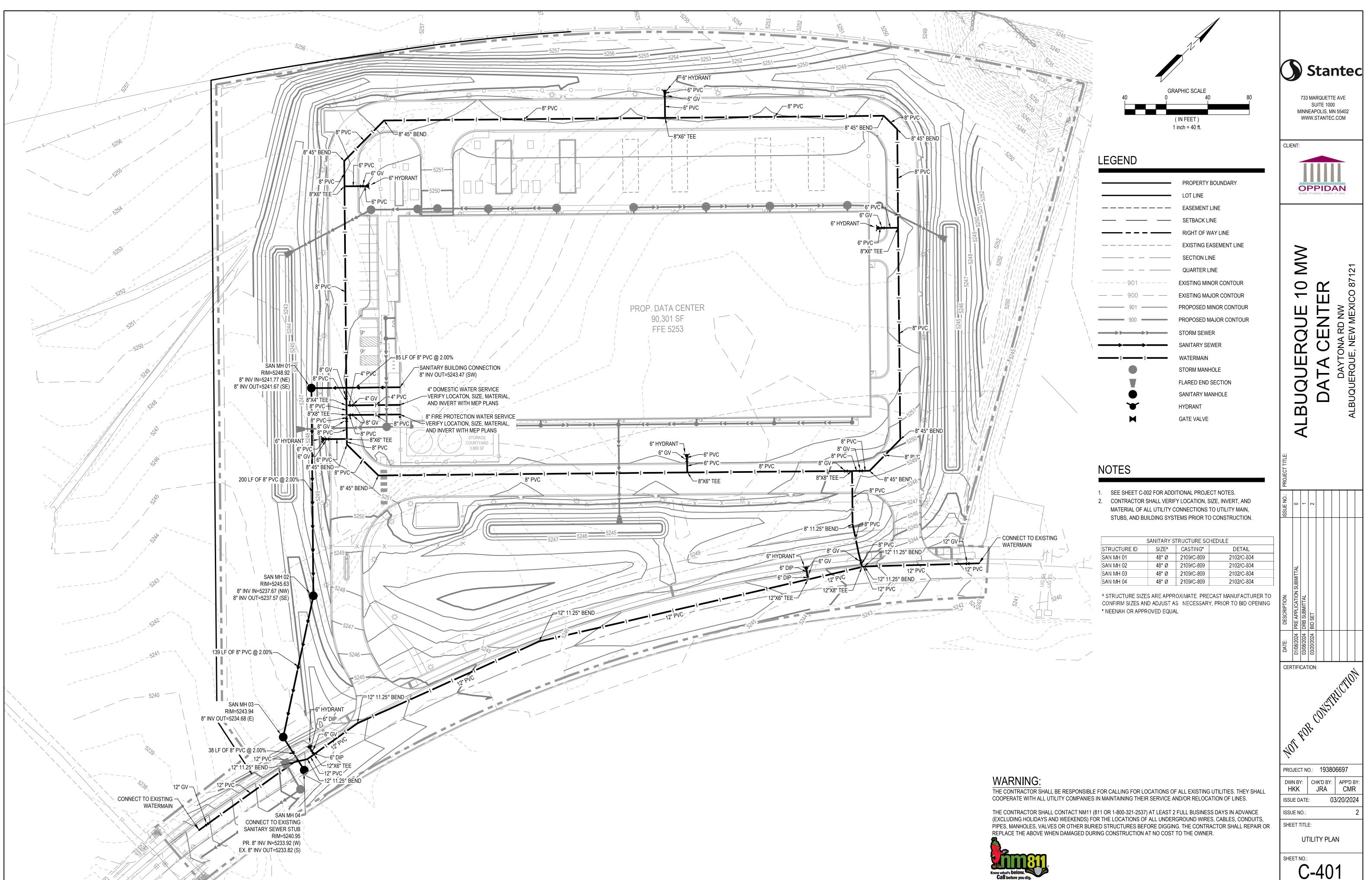
| SITE ANALYSIS TABLE | | | | | | |
|---|--|-----------------------|---------------------|--|--|--|
| ADDRESS | DAYTONA RD NW, ALBUQUERQUE, NEW MEXICO (UPC: 100905814301230101) | | | | | |
| EXISTING ZONING | NR-BP: NON-RESIDENTIAL - BUSINESS PARK | | | | | |
| PROPOSED ZONING | NR-BP: NON-RESIDENTIAL - BUSINESS PARK | | | | | |
| PROPOSED USE | DATA CENTER | | | | | |
| | LOT AREA SU | MMARY | | | | |
| LOT NUMBER | TOTAL AREA (AC.) | IMPERVIOUS AREA (AC.) | PERVIOUS AREA (AC.) | | | |
| EXISTING PARCEL SUMMARY | 7.82 | 0 | 7.82 | | | |
| PROPOSED PARCEL SUMMARY | 9.98 | 5.14 | 4.84 | | | |
| | BUILDING SUI | MMARY | | | | |
| LOT NUMBER | BUILDING FOOTPRINT (SF) | GROSS FLOOR AREA (SF) | # OF STORIES | | | |
| PROPOSED | 90,301 | 90,301 | 1 | | | |
| | PARKING SU | MMARY | | | | |
| TOTAL PARKING | REQUIRED | PROPOSED | | | | |
| STANDARD PARKING | - | 17 | | | | |
| ACCESSIBLE PARKING | - | 2 | | | | |
| TOTAL PARKING | - | 19 | | | | |
| MOTORCYLCE PARKING | 1 | 2 | | | | |
| BICYCLE PARKING | CLE PARKING 3 3 | | | | | |
| | SETBACK SUMMARY | | | | | |
| | REQUIRED | PROPOSED | | | | |
| FRONT | 20' | 117.8' | | | | |
| SIDE | 10' | 116.4' | | | | |
| REAR | 10' 157.5' | | | | | |
| NOTES: | | | | | | |
| WAREHOUSE PARKING REQUIREMENT: NO REQUIREMENT | | | | | | |

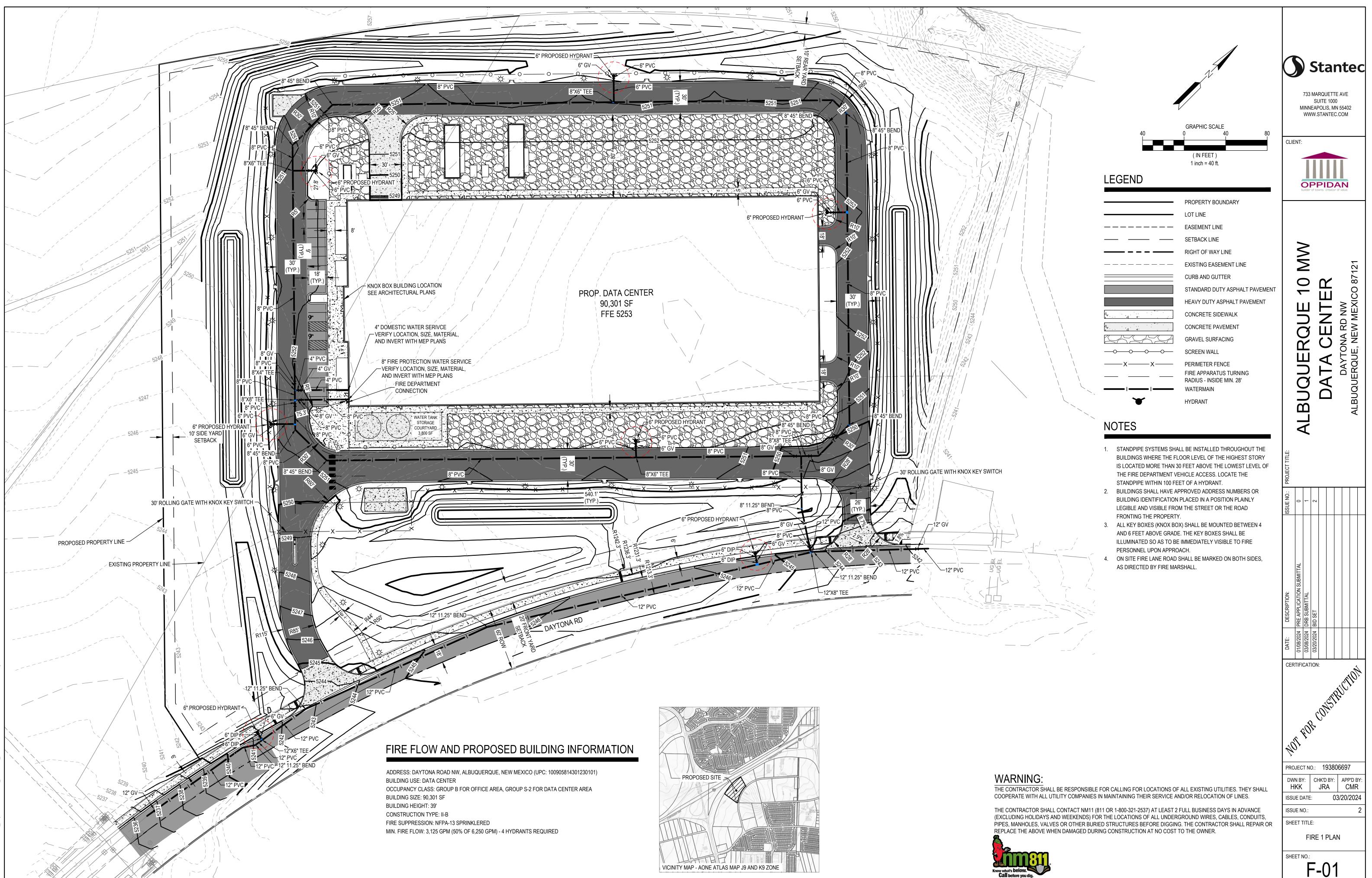


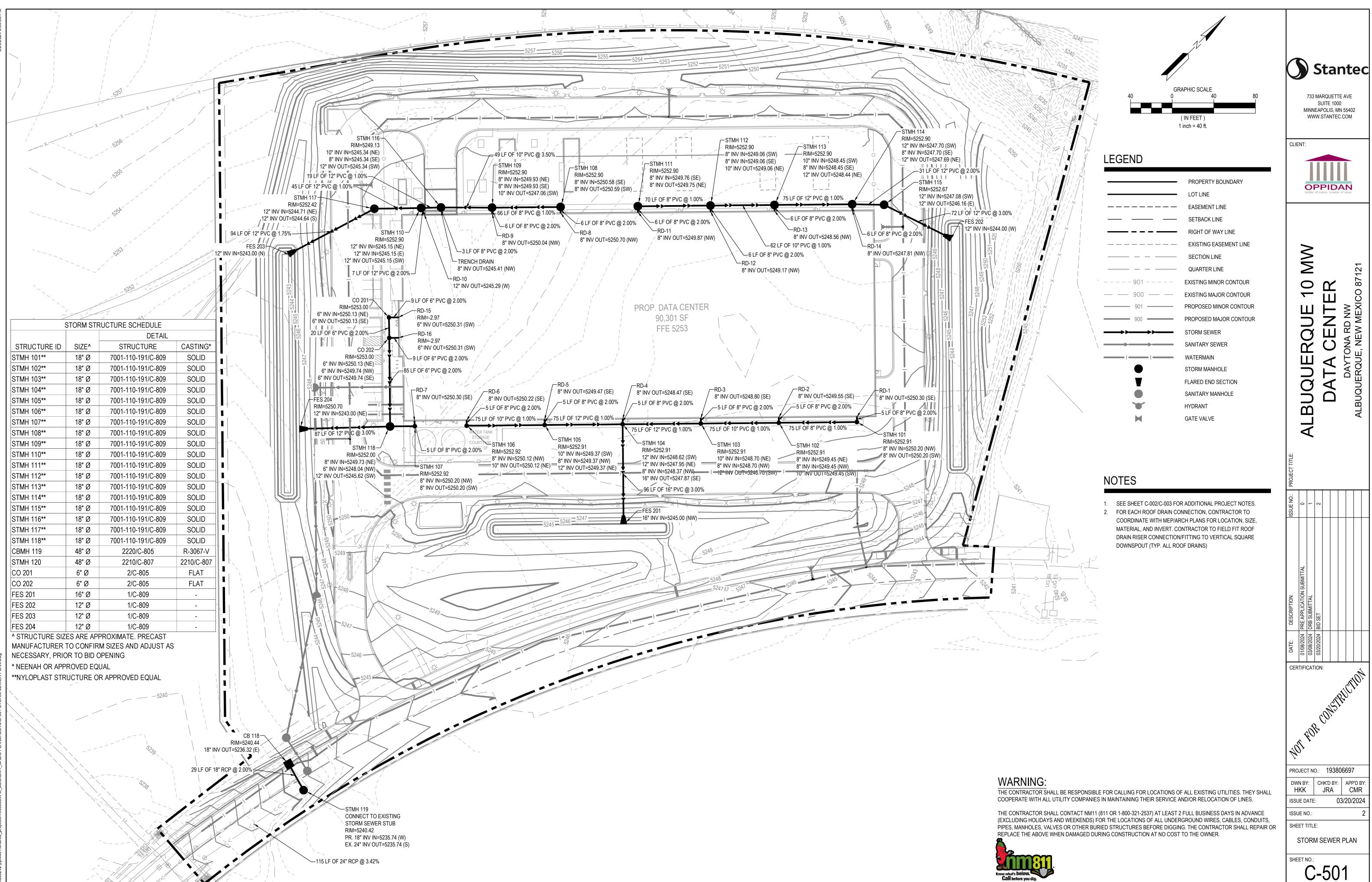




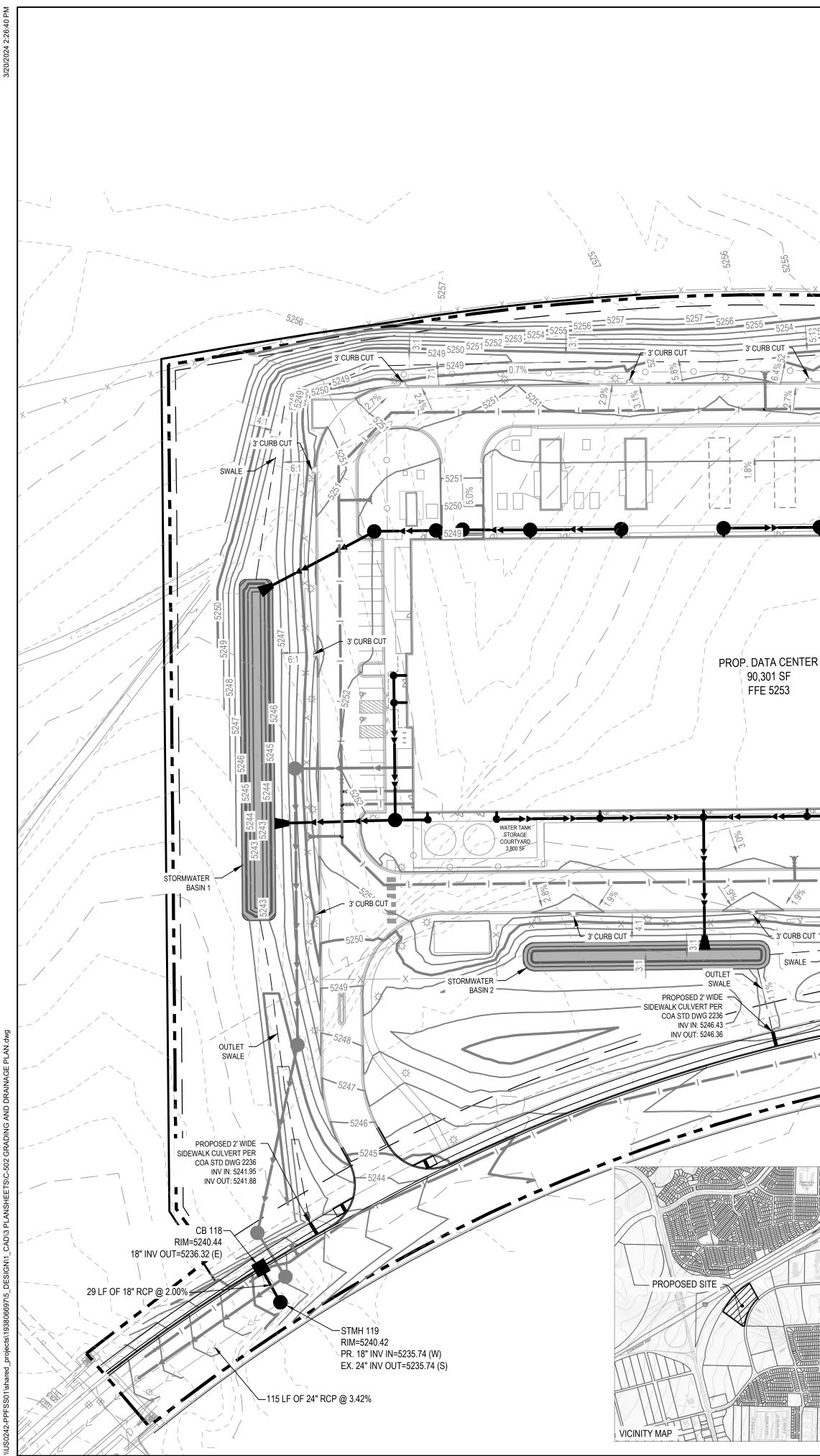








| | РКОЈЕСТ ТІТLЕ | | | | | | | | | |
|--|---|--------------------------------------|--------------------------|--------------------|--|--|---|--|--|--|
| | ISSUE NO.: | 0 | ~ | 2 | | | | | | |
| | DATE: DESCRIPTION: | 01/08/2024 PRE APPLICATION SUBMITTAL | 03/08/2024 DRB SUBMITTAL | 03/20/2024 BID SET | | | | | | |
| | CERTIFICATION: | | | | | | | | | |
| | PROJECT NO.: 193806697 DWN BY: CHK'D BY: APP'D BY: HKK JRA CMR ISSUE DATE: 03/20/2024 | | | | | | | | | |
| | | | | | | | 2 | | | |
| | | | | | | | | | | |
| | | ISSUE NO.: 2 | | | | | 2 | | | |
| | SHEET TITLE: | | | | | | | | | |
| | sheet no.: C-501 | | | | | | | | | |





3' CURB CL

CURB C

3' CURB CU

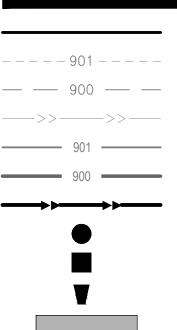
_ _ _ _ _ _ _ _ _

SWALE

GRAPHIC SCAL

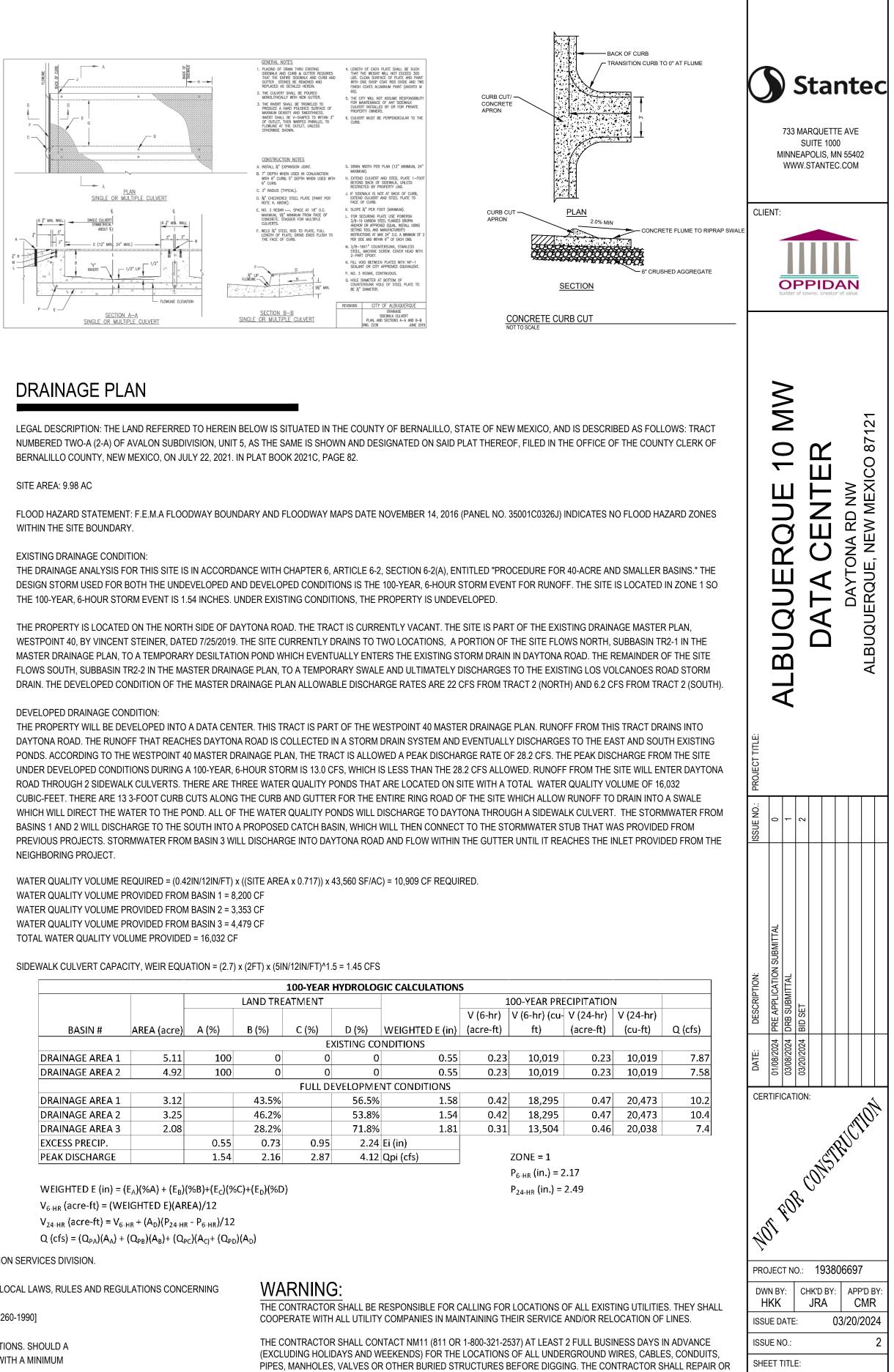
1 inch = 50 ft.

3' CURB CUT



PROPERTY BOUNDARY EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING STORM SEWER PROPOSED MINOR CONTOUR PROPOSED MAJOR CONTOUR STORM SEWER STORM MANHOLE STORM CATCH BASIN FLARED END SECTION

POND AREA



| | | | LAND TRE |
|-----------------|-------------|-------|----------|
| | | | |
| BASIN # | AREA (acre) | A (%) | B (%) |
| | | | |
| DRAINAGE AREA 1 | 5.11 | 100 | 0 |
| DRAINAGE AREA 2 | 4.92 | 100 | 0 |
| | | | |
| DRAINAGE AREA 1 | 3.12 | | 43.5% |
| DRAINAGE AREA 2 | 3.25 | | 46.2% |
| DRAINAGE AREA 3 | 2.08 | | 28.2% |
| EXCESS PRECIP. | | 0.55 | 0.73 |
| PEAK DISCHARGE | | 1.54 | 2.16 |

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFROMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION HEALTH AND SAFETY.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE 95%.

. 3' CURB CU1

- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.

PROPOSED 2' WIDE

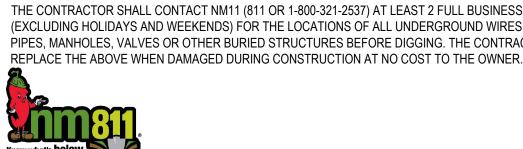
COA STD DWG 2236 💼

INV IN: 5243.2

INV OUT: 5242.18

SIDEWALK CULVERT PER

FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES





PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

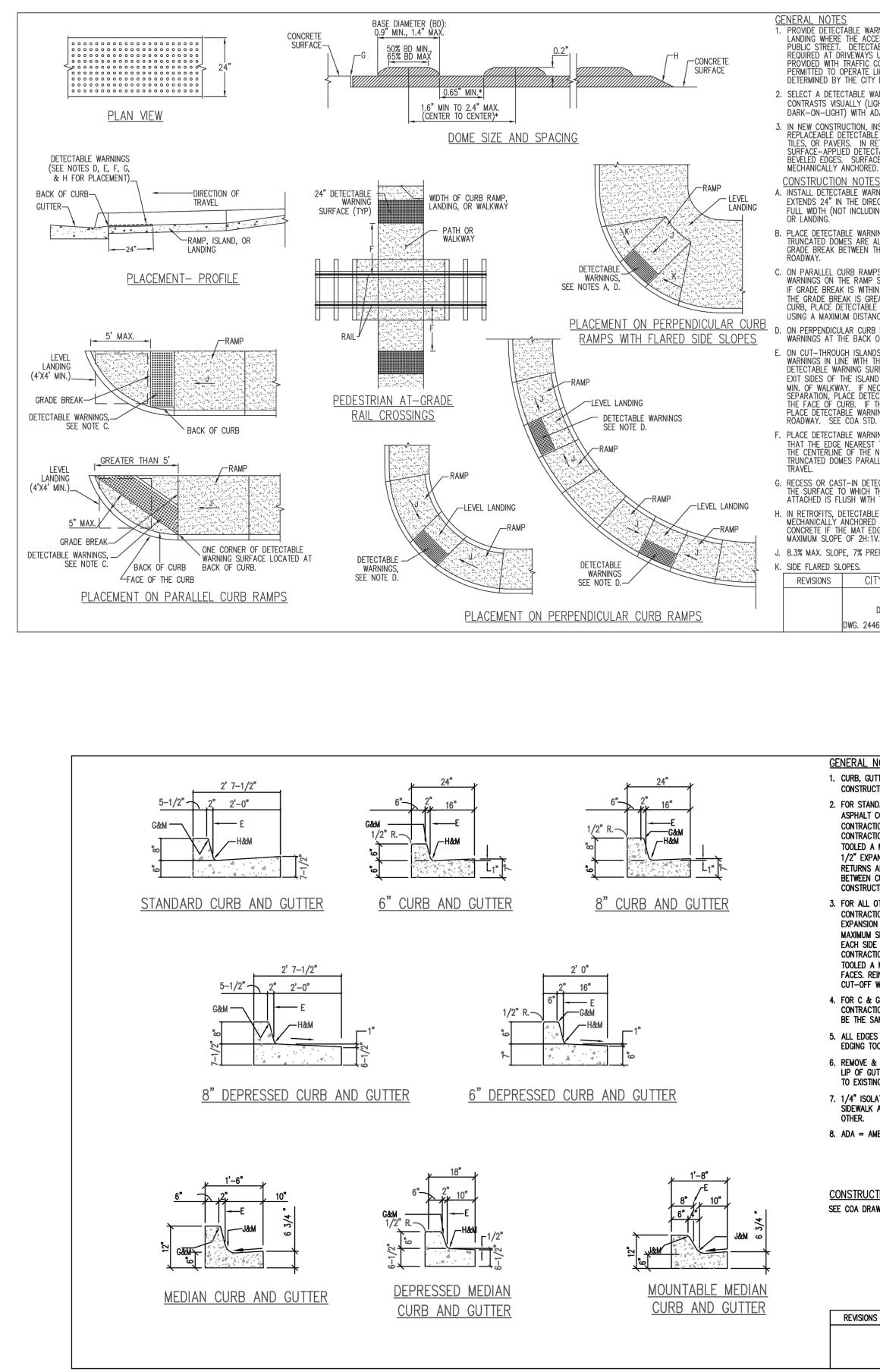


GRADING AND DRAINAGE

PLAN

C-501

SHEET NO .:



I. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.

2. SELECT A DETECTABLE WARNING SURFACE THAT CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.

3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS WITH BEVELED EDGES. SURFACE APPLIED PANELS SHALL BE MECHANICALLY ANCHORED MECHANICALLY ANCHORED.

A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP

B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO TH GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE

C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHIN 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURE ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB.

E. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WARNING SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPARATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF

ROADWAY. SEE COA STD. DWG. 2448. F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL. ALIGN ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF

G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH THE ADJACENT CONCRETE.

H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF TH CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H:1V.

J. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE. CITY OF ALBUQUERQUE

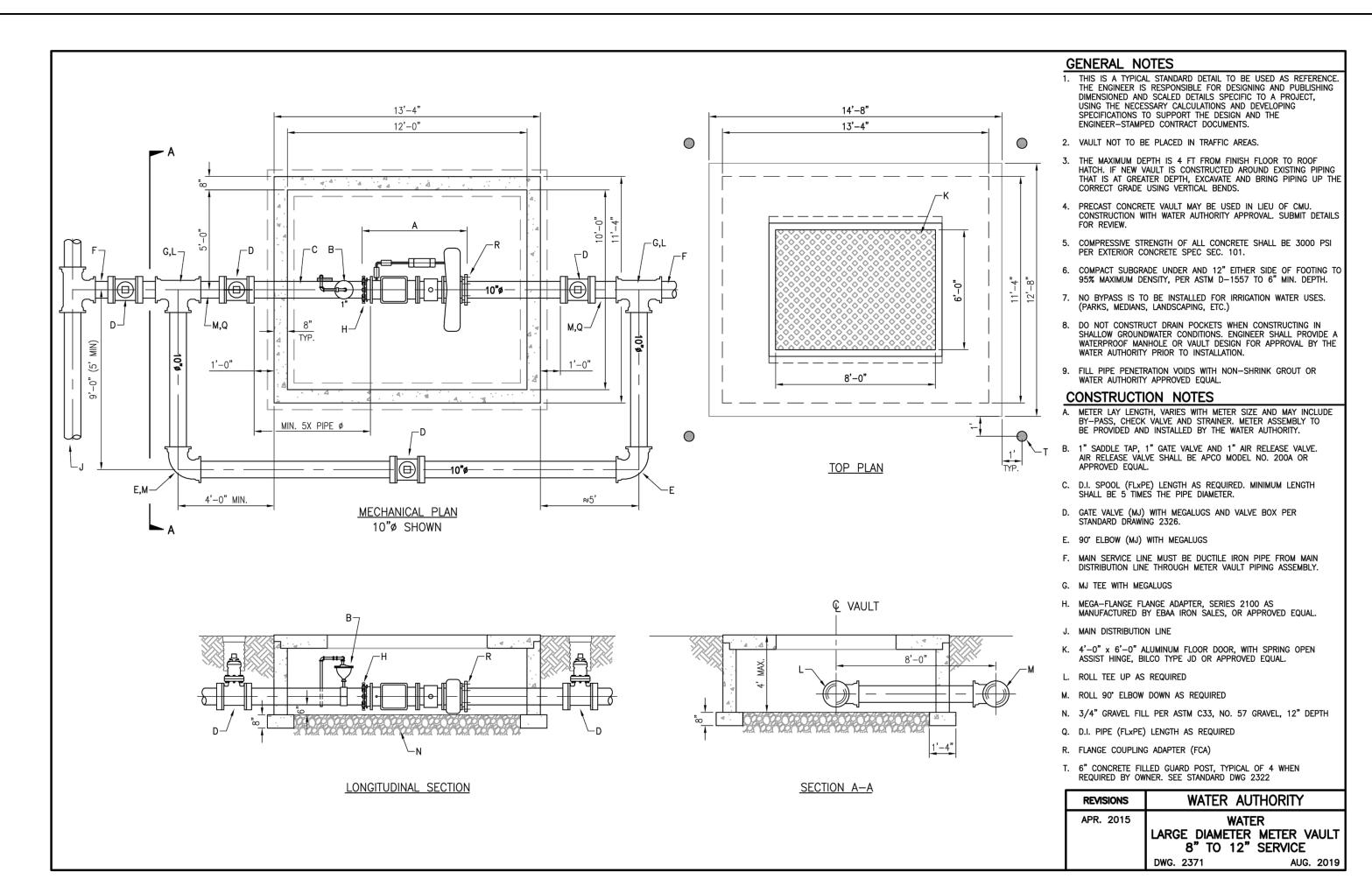
> PAVING DETECTABLE WARNINGS DWG. 2446 JUNE 2019

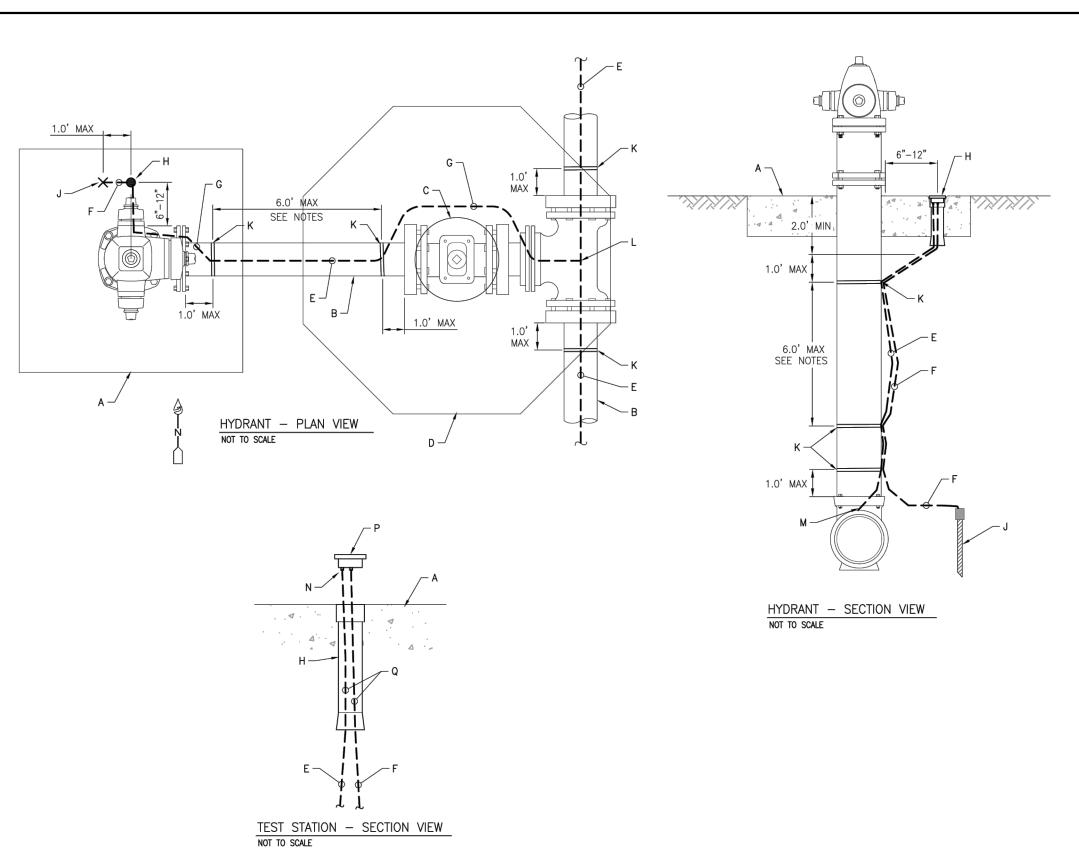
GENERAL NOTES

- 1. CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- 2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING, CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
- 3. FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- 4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- 5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL. 6. REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO
- LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 7. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- 8. ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES SEE COA DRAWING 2415B

CITY OF ALBUQUERQUE REVISIONS PAVING CURB AND GUTTER AND CURB CUT DETAILS DWG. 2415A FEBRUARY 2021





APPROPRIATE FOR CAST IN PLACE CONCRETE APPLICATIONS Q. COIL 2' OF EXTRA RED AND BLUE TRACE WIRE INSIDE TEST STATION WATER AUTHORITY REVISIONS SEP. 2017 FIRE HYDRANT TRACE WIRE DETAILS AUG. 2019 DWG. 2342

GENERAL NOTES

BLUE (APWA STANDARD).

B. WATER MAIN

CONSTRUCTION NOTES

C. VALVE BOX PER STANDARD DRAWING 2326

STATION SECTION VIEW, THIS SHEET)

TRACE WIRE SHALL BE FASTENED TO THE PIPE WITH TAPE OR PLASTIC TIES AT 6' INTERVALS.

3. TEST STATION CAP AND TRACE WIRE SHALL BE COLOR CODED

2. TEST STATIONS SHALL BE VISIBLE FROM ROAD.

A. CONCRETE COLLAR PER STANDARD DRAWING 2340

D. CONCRETE COLLAR PER STANDARD DRAWING 2461

E. TRACE WIRE #12 AWG COPPER CLAD STEEL - BLUE (SEE SECTION A-A ON STANDARD DRAWING 2302)

F. TRACE WIRE #12 AWG COPPER CLAD STEEL - RED FACTORY CONNECTED TO GROUNDING ANODE.

G. TRACE WIRE SHALL BE ROUTED AROUND VALVES/HYDRANTS ON THE NORTH OR EAST SIDE

H. TEST STATION ACCESS BOX WITH BLUE COLOR CODED (APWA STANDARD) CAP SHALL BE INSTALLED ON NORTH OR EAST SIDE OF FIRE HYDRANT. TEST STATIONS SHALL BE INSTALLED APPROXIMATELY 1000' APART. TEST STATIONS SHALL BE DEVICE APPROXIMATELY 1000' APART. TEST STATIONS SHALL BE APPROXIMATELY 1000' APART. TEST STATIONS SHALL BE DEVICE APPROXIMATELY 1000' APART. TEST STATIONS STATIONS STATIONS SHALL BE DEVICE APPROXIMATELY 1000' APART. TEST STATIONS STATIONS SHALL BE DEVICE APPROXIMATELY 1000' APART. TEST STATIONS STATION

APPROPRIATE FOR CAST IN PLACE CONCRETE APPLICATIONS. MAIN TRACE WIRE AND LEAD GROUND TRACE WIRE FROM THE

MAGNESIUM GROUNDING ANODE SHALL BE CONTINUOUS TO THE TERMINALS IN THE TEST STATION. DO NOT CUT MAIN

LINE TRACE WIRE. TEST STATION SHALL BE FLUSH WITH TOP OF CONCRETE TO PREVENT POOLING OF WATER. (SEE TEST

MINIMUM 1FT HORIZONTAL SEPARATION FROM TEST STATION ACCESS BOX. INSTALL AT DEPTH OF MAIN TRACE WIRE.

L. TEE CONNECTION. 3-WAY LOCKING WATERPROOF CONNECTOR. DO NOT CUT MAIN LINE TRACE WIRE. (SEE TEE CONNECTION DETAIL, STANDARD DRAWING 2302)

CONNECTS TO MAIN LINE TRACE WIRE (SEE PLAN VIEW)

N. TERMINAL JUMPER SHALL CONNECT TRACE WIRE TERMINAL TO CROUNDING ANODE TERMINAL UNDER NORMAL OPERATIONS. THE TERMINAL JUMPER CAN BE DICONNECTED AND TERMINALS MAY BE USED TO CONNECT TRACE EQUIPMENT FOR TRACE

AND FOR GROUND. THE TERMINAL JUMPER SHALL BE

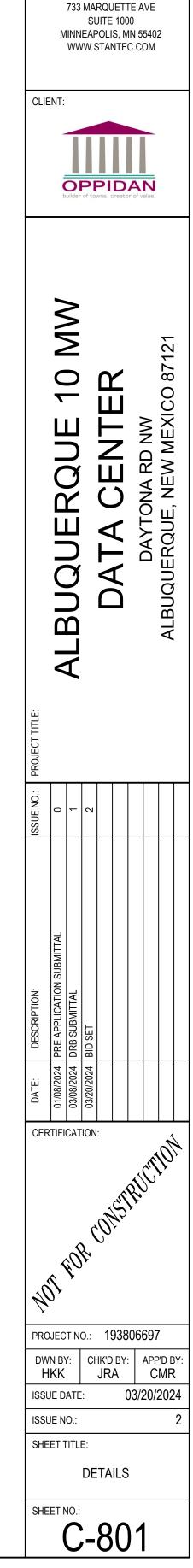
P. 2-TERMINAL BLUE COLOR CODED CAPS (APWA STANDARD)

RECONNECTED WHEN TRACE IS COMPLETE.

M. TRACE WIRE CONTINUES ON TOP OF HYDRANT LEAD AND

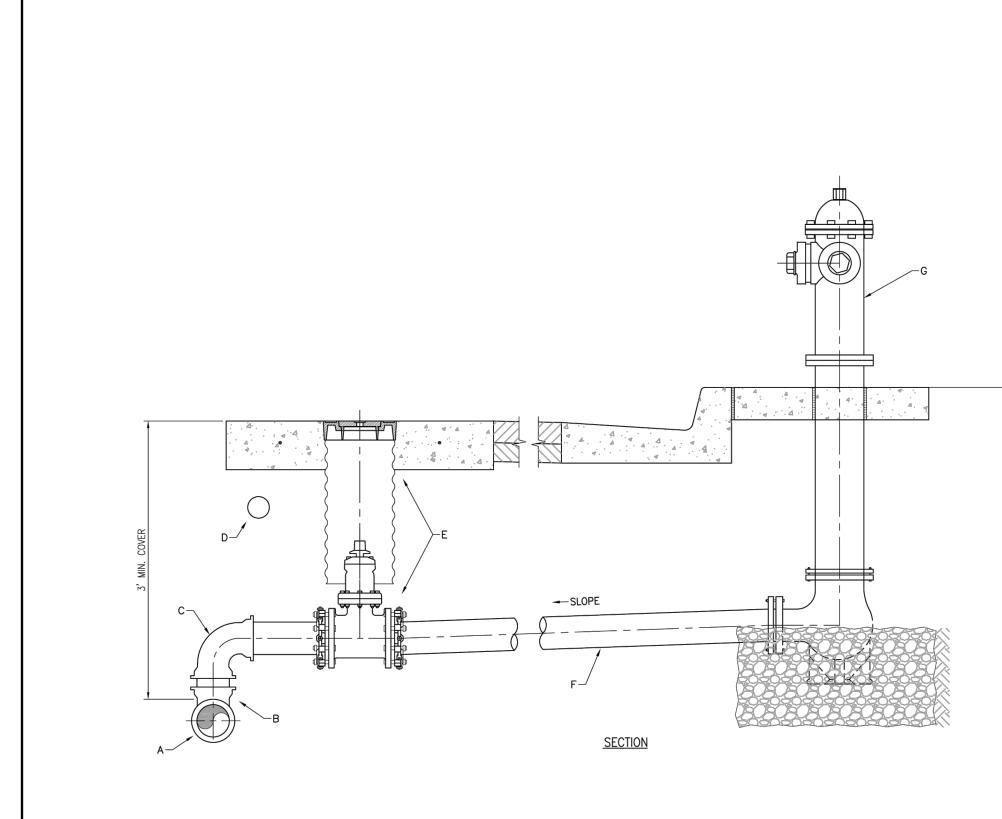
J. DRIVE-IN MAGNESIUM GROUNDING ANODE. INSTALL WITH

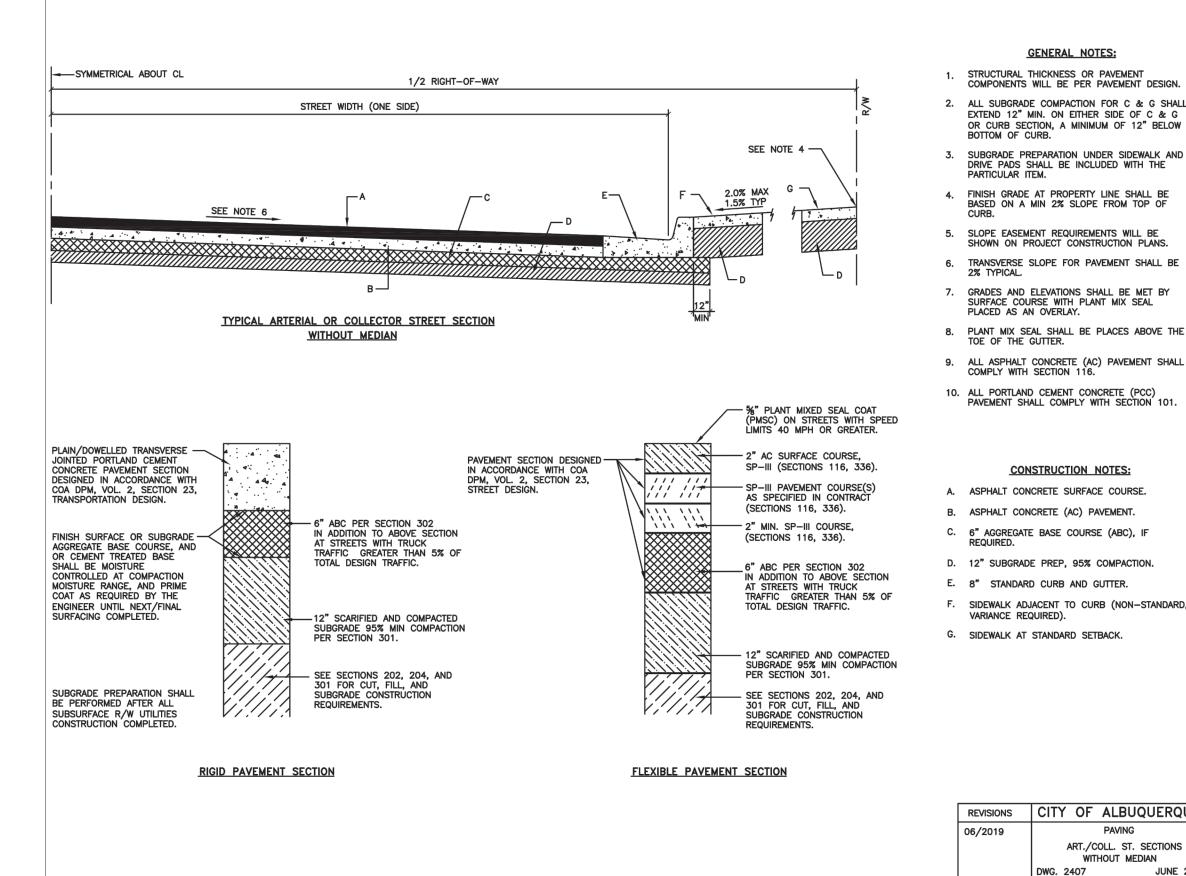
(SEE ANODE DETAIL, STANDARD DRAWING 2302) K. TAPE OR PLASTIC TIE (SEE GENERAL NOTES).



Stantec







REVISIONS CITY OF ALBUQUERQUE

PAVING ART./COLL. ST. SECTIONS

WITHOUT MEDIAN

JUNE 2019

F. SIDEWALK ADJACENT TO CURB (NON-STANDARD,

CONSTRUCTION NOTES:

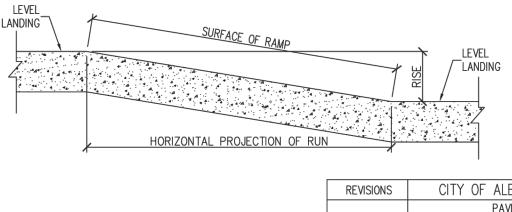
SURFACE COURSE WITH PLANT MIX SEAL PLACED AS AN OVERLAY. 8. PLANT MIX SEAL SHALL BE PLACES ABOVE THE

SLOPE EASEMENT REQUIREMENTS WILL BE SHOWN ON PROJECT CONSTRUCTION PLANS. TRANSVERSE SLOPE FOR PAVEMENT SHALL BE

SUBGRADE PREPARATION UNDER SIDEWALK AND DRIVE PADS SHALL BE INCLUDED WITH THE

GENERAL NOTES STRUCTURAL THICKNESS OR PAVEMENT COMPONENTS WILL BE PER PAVEMENT DESIGN. 2. ALL SUBGRADE COMPACTION FOR C & G SHALL EXTEND 12" MIN. ON EITHER SIDE OF C & G

| | <u>ada acc</u> | COSIDLE RU | JUIE SLUFES (. | <u>See figure deluwj</u> |
|----------------------|----------------|------------------------|---------------------------|--|
| SLOPE * | % SLOPE | MAX. RISE ** INCHES | MAX. HORIZ. PROJ. FEET | COMMENTS |
| 50H:1V OR FLATTER | 2% OR LESS | UNLIMITED | UNLIMITED | TO BE USED FOR CROSS SLOPES ON ANY INTENDED ADA ACCESSIBLE ROUTE AND ANY LEVEL LANDING. |
| 20H:1V OR FLATTER | 5% OR LESS | UNLIMITED | UNLIMITED | TO BE USED FOR DIRECTION OF TRAVEL ON ANY INTENDED ADA ACCESSIBLE ROUTE. |
| 12H:1V TO 15H:1V | 8.3% TO 7% | 30 | 250 (% SLOPE) | TO BE USED FOR DIRECTION OF TRAVEL ON ANY RAMP SURFACE. |



19. CURBS ADJACENT TO ADA SURFACES SHALL BE PAINTED IN A CONTRASTING COLOR (REFLECTIVE YELLOW).

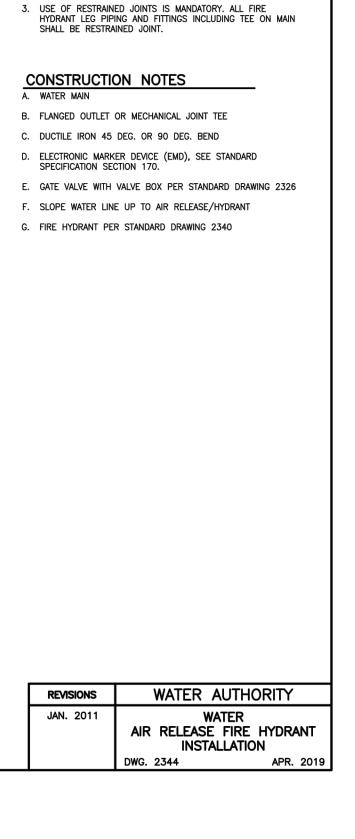
16. DETECTABLE WARNINGS SHALL BE INCLUDED ON ALL CURB RAMPS. 17. IF DIAGONAL CURB RAMPS HAVE RETURNED CURBS OR CURBS WITH WELL-DEFINED EDGES, THE EDGES SHALL BE PARALLEL TO THE DIRECTION OF PEDESTRIAN TRAVEL.

RAMP CHANGES DIRECTION AT THE LANDING, THE MINIMUM LANDING SIZE SHALL BE 5 FEET BY 5 FEET. RAMPS AND LANDINGS WITH DROP-OFFS SHALL HAVE CURBS, WALLS, RAILINGS, OR PROJECTIONS THAT PREVENTS SLIPPING OR FALLING OFF OF THE RAMP.

CURB RAMP WITHIN THE MARKED CROSSING.

9. CURB ACCESS RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.

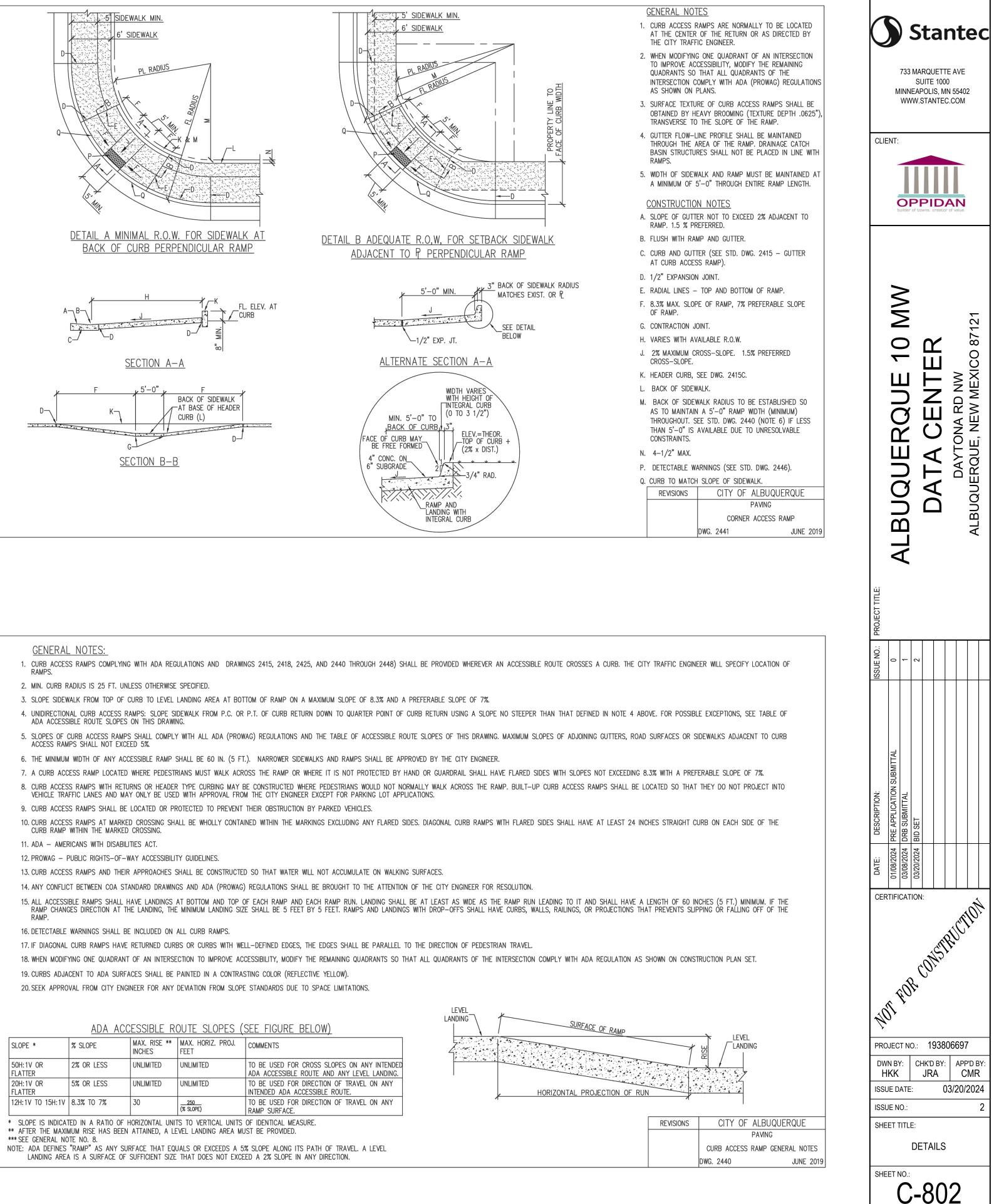
- GENERAL NOTES:

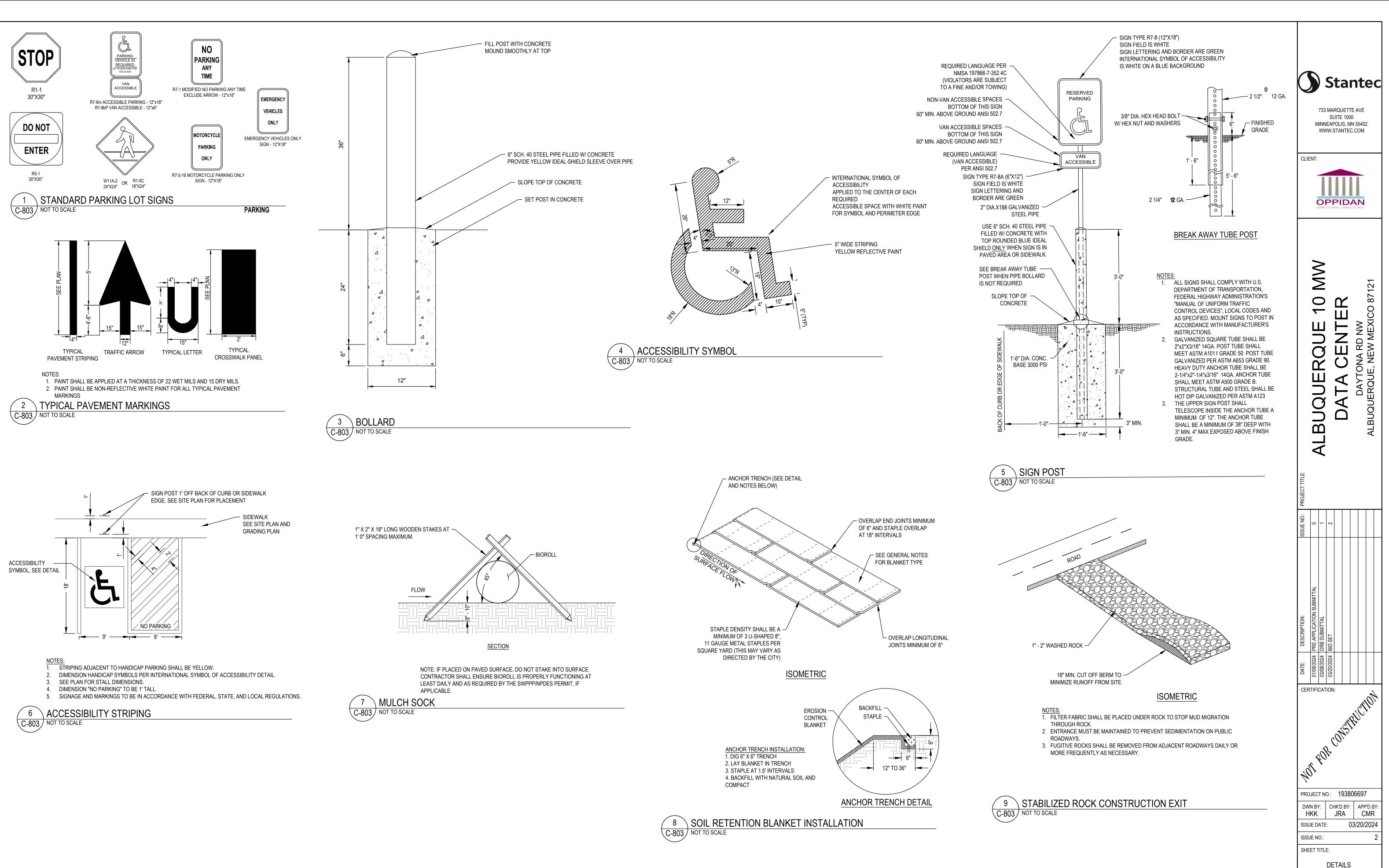


GENERAL NOTES

. INSTALL AIR RELEASE HYDRANT AS REQUIRED BY ENGINEERS DESIGN PLANS.

2. REFER TO STANDARD DRAWING 2340 FOR COMPLETE FIRE HYDRANT INSTALLATION DETAILS.

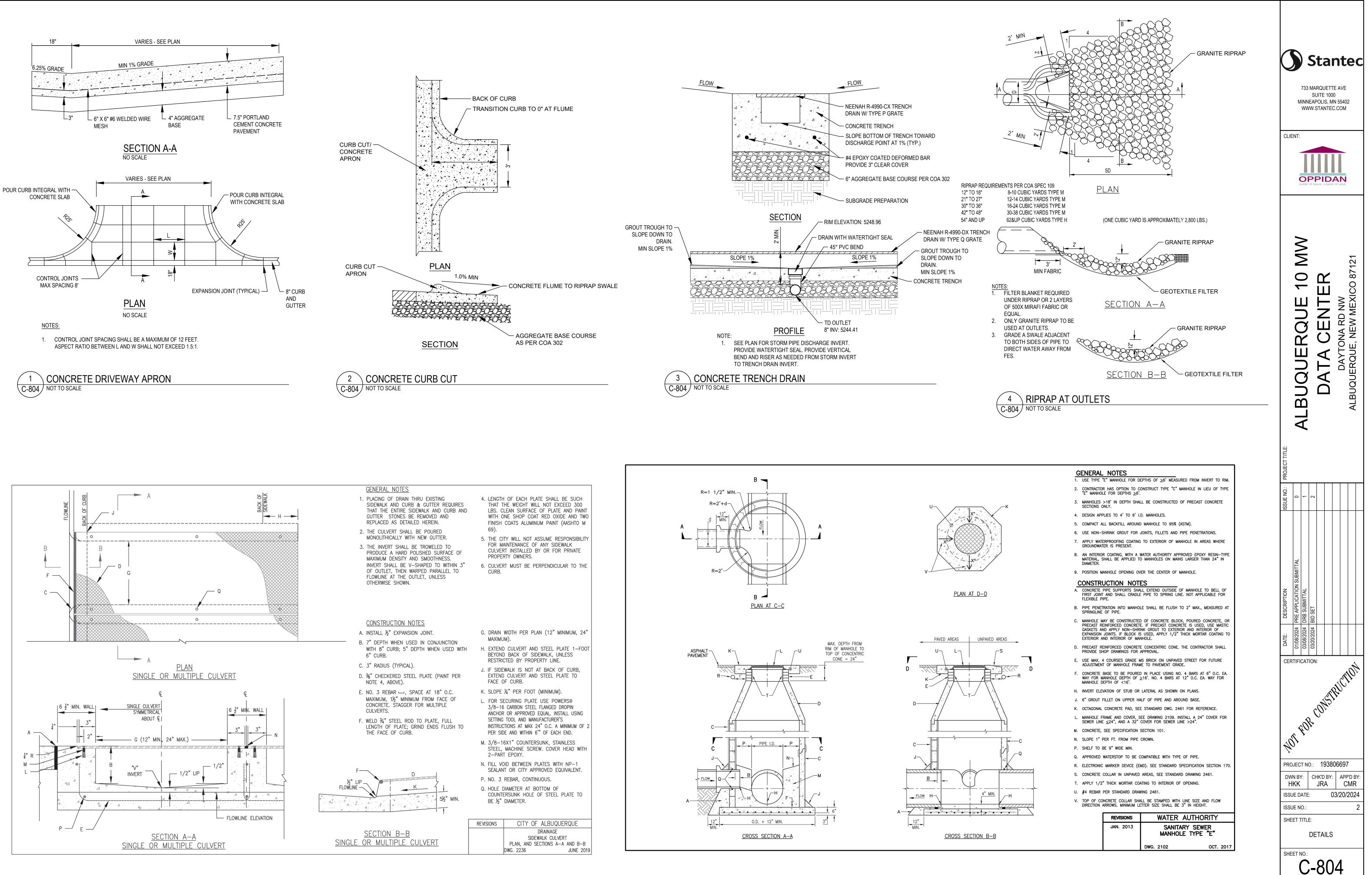




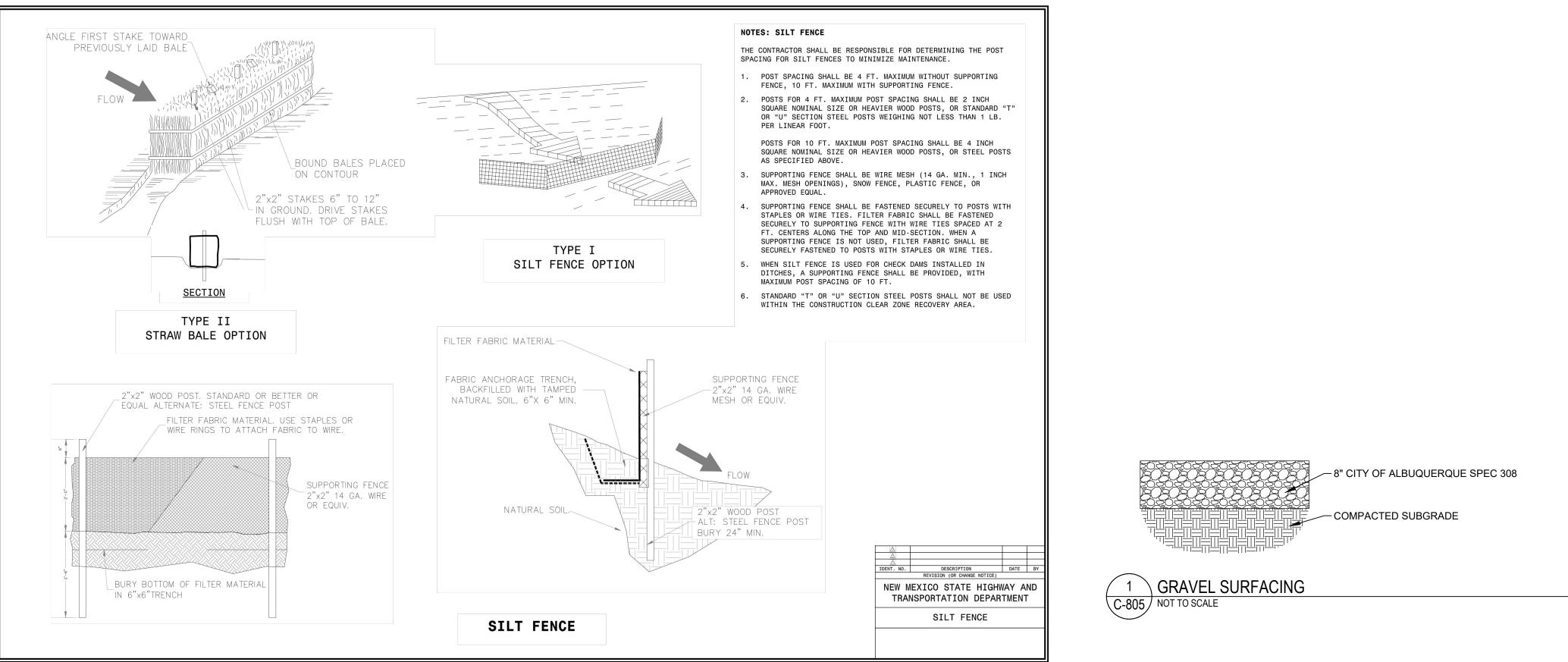
SHEET NO .:

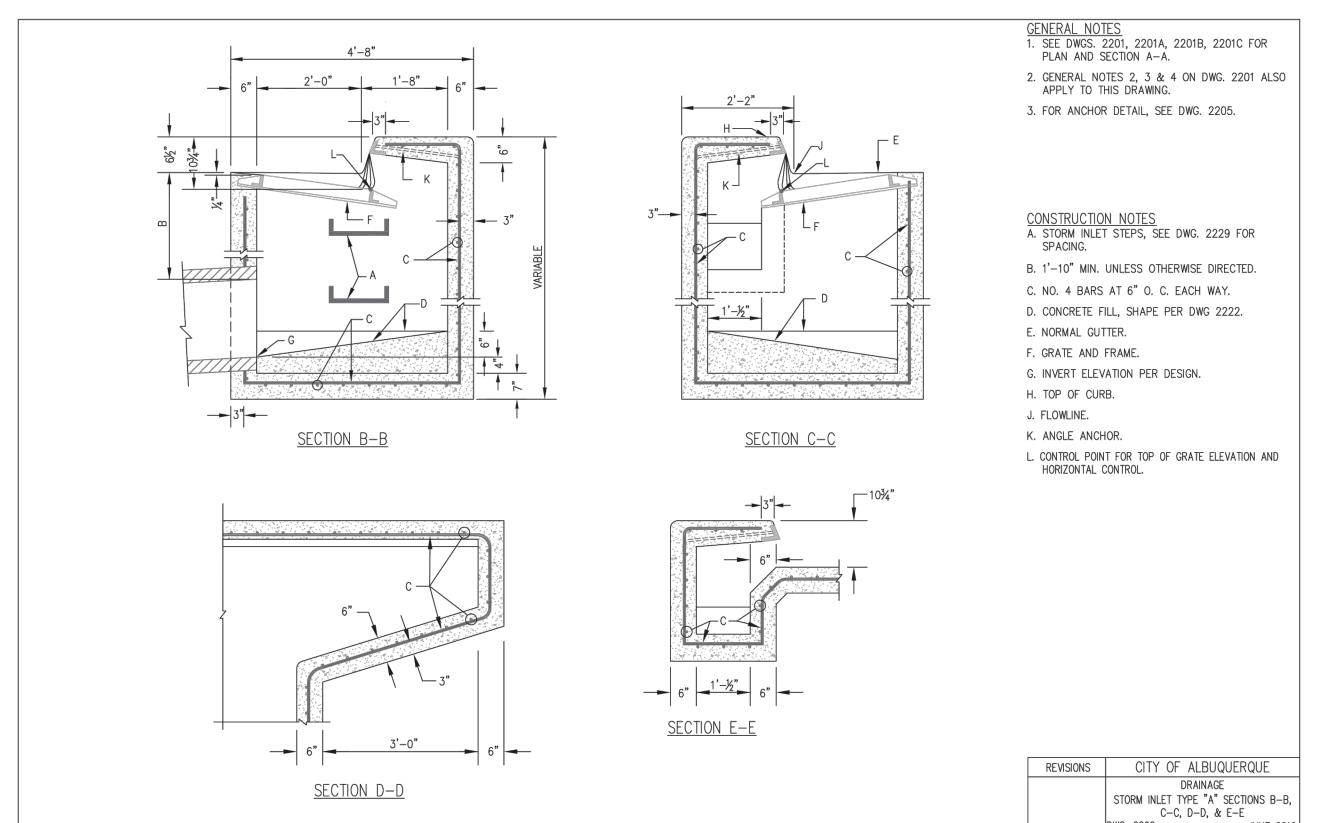
C-803





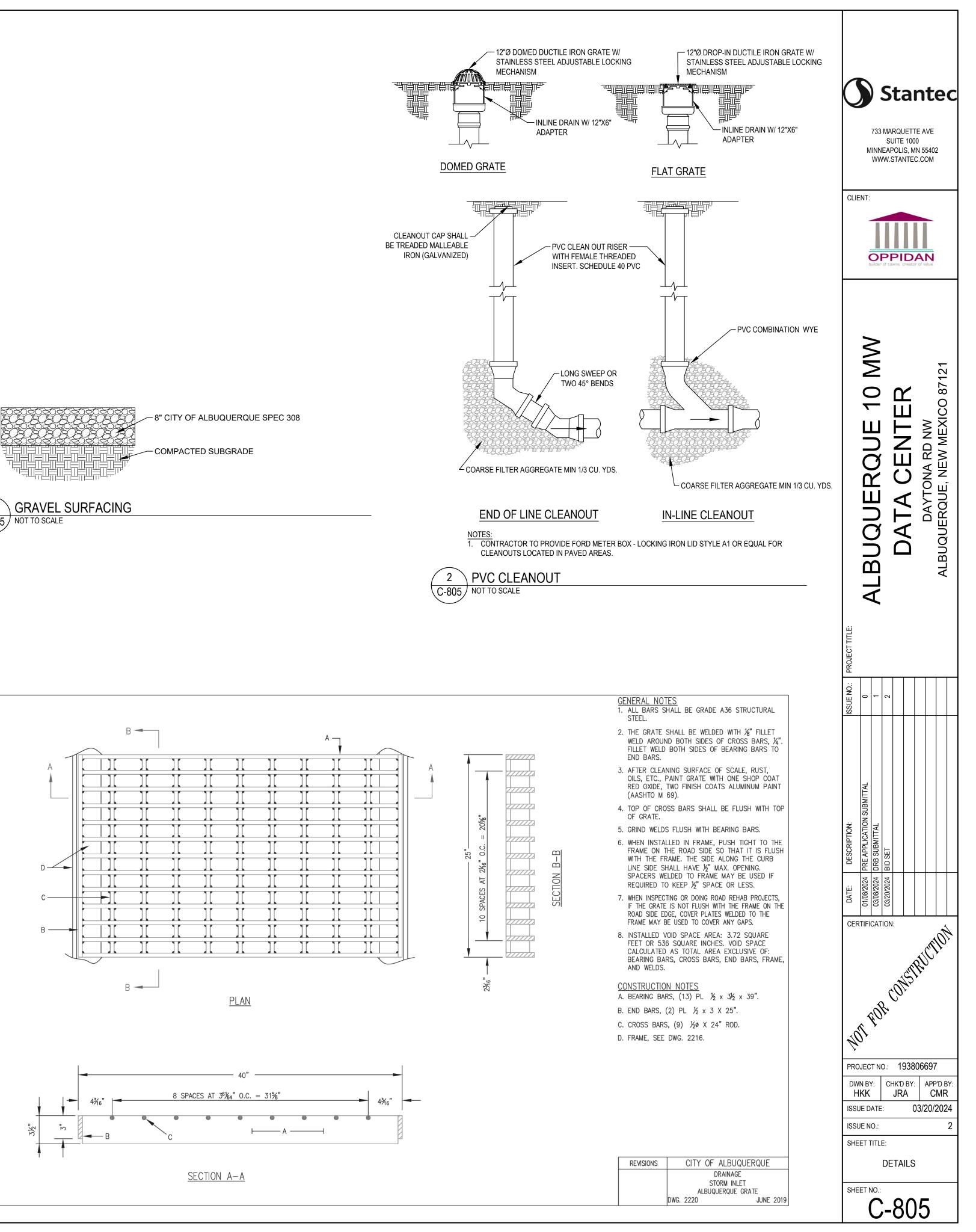


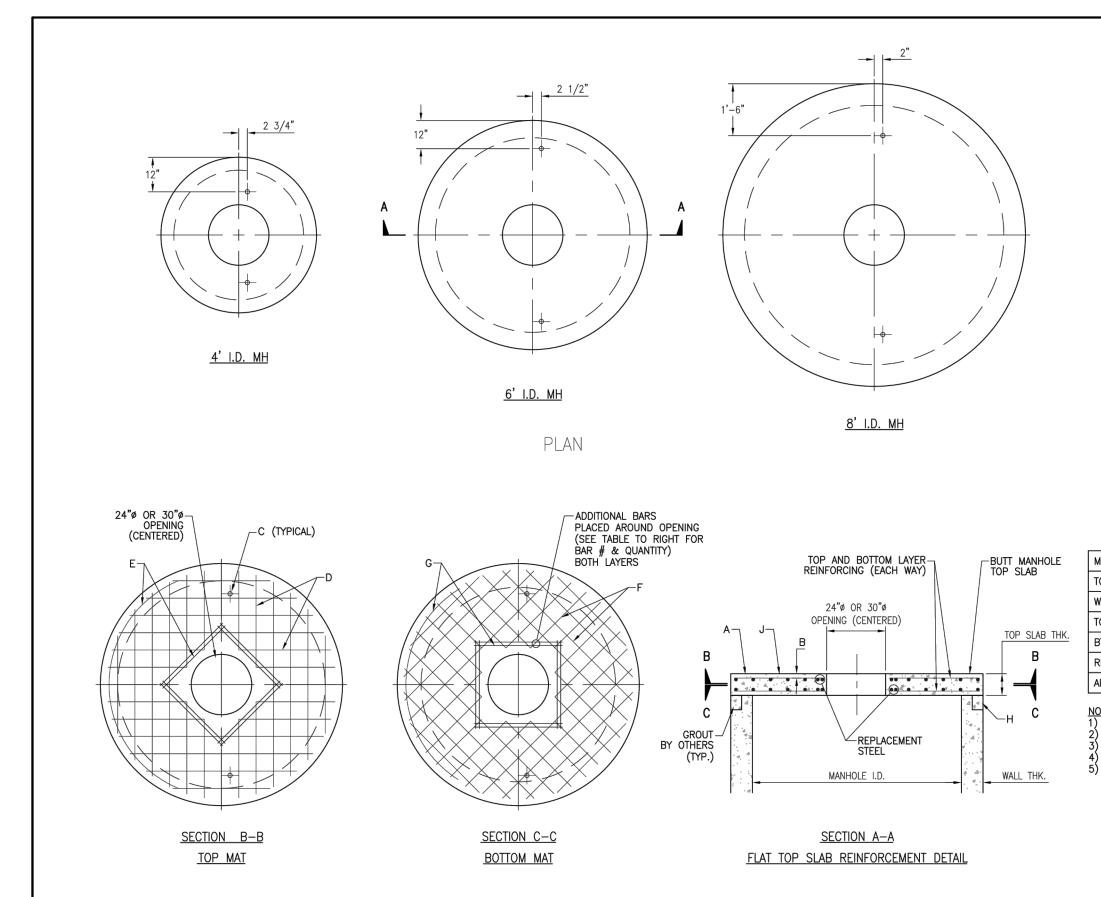


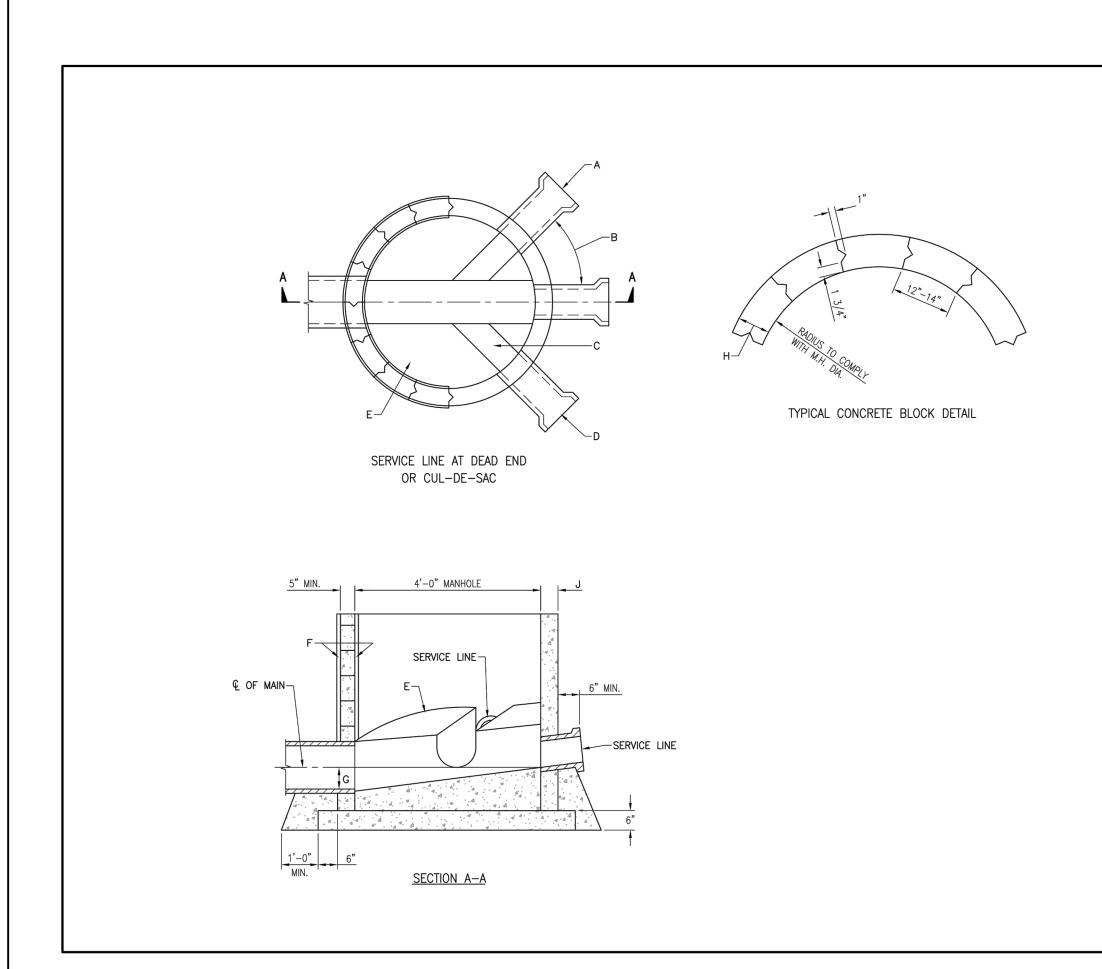


DWG. 2202 JUNE 2019

SHEET NO. 3 OF 7







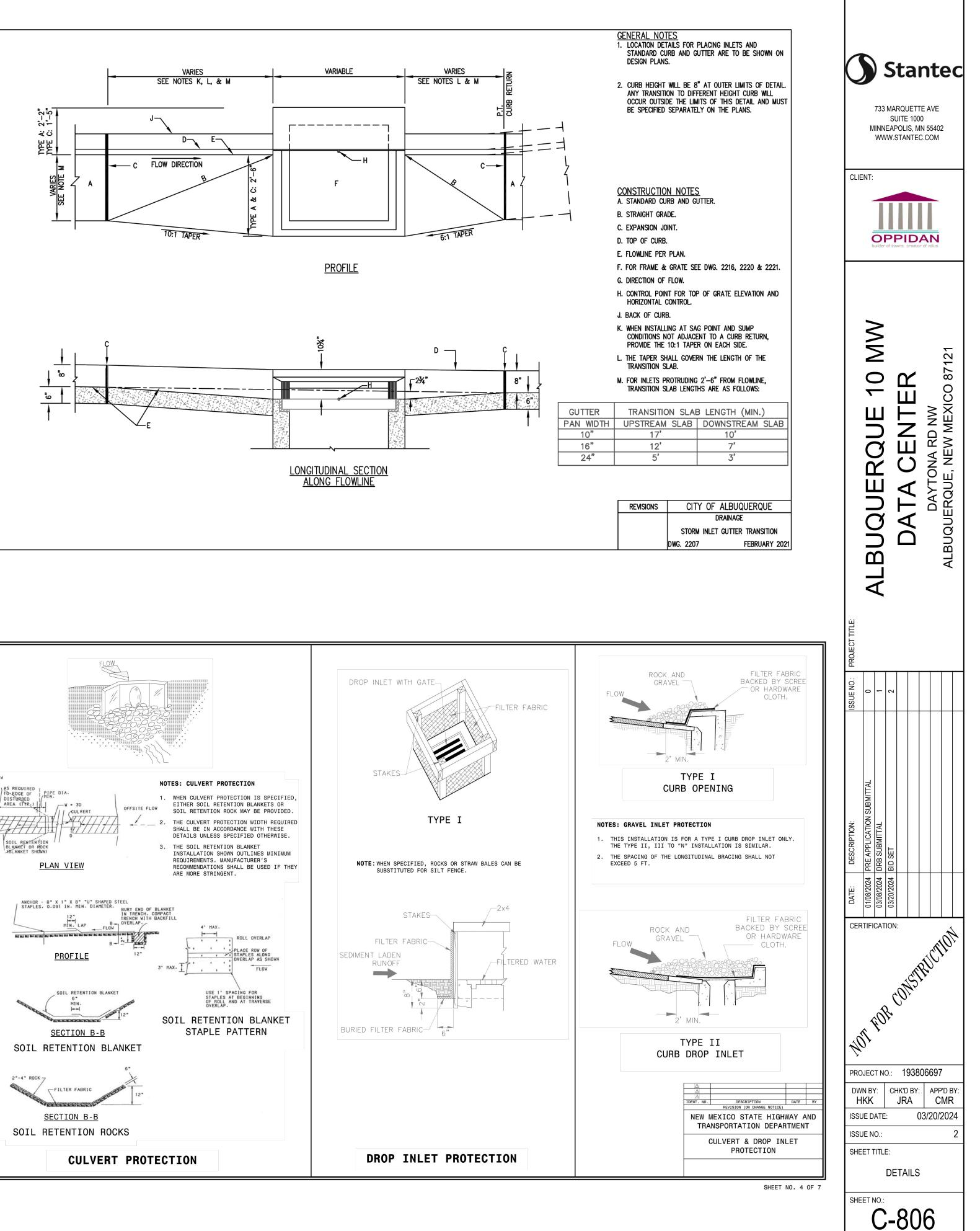
GENERAL NOTES 1. ALL MANHOLES ≥20' IN DEPTH WILL REQUIRE AN INTERMEDIATE LANDING IN THE MANHOLE BARREL. TYPE "C" MANHOLE TOP SLABS SHALL BE USED AS INTERMEDIATE LANDINGS. . INTERMEDIATE LANDINGS SHALL BE LOCATED AT THE MID POINT $\pm 2'$ of the height of the manhole. At no time shall an intermediate landing or a size adjustment top be installed closer than 8' up from the invert of the manhole OF THE MANHOLE. CONSTRUCTION NOTES A. PRECAST REINFORCED CONCRETE MANHOLE TOP SLAB. B. ALL BARS TO HAVE 1 1/2" MIN. COVER. C. 1" PIPE SLEEVE VERTICALLY THROUGH TOP SLAB. D. TOP MAT NO. 4 BARS 6" O.C. EACH WAY FOR 4', 6' AND 8' I.D. MANHOLES. E. NO. 4 BARS F. BOTTOM MAT NO. 4 BARS 6" O.C. EACH WAY FOR 4' AND 6' I.D. MANHOLES, NO. 8 BARS 8" O.C. EACH WAY FOR 4" AND 6" MANHOLES. G. NO. 4 BARS FOR 4' AND 6' I.D. MANHOLES. H. WHEN PRECAST MANHOLE SECTIONS ARE USED, TOP SLAB SHALL BE MODIFIED TO SHAPE OF APPROPRIATE SIZE TONGUE AND GROOVE JOINT. J. CONCRETE, SEE SECTION 101.

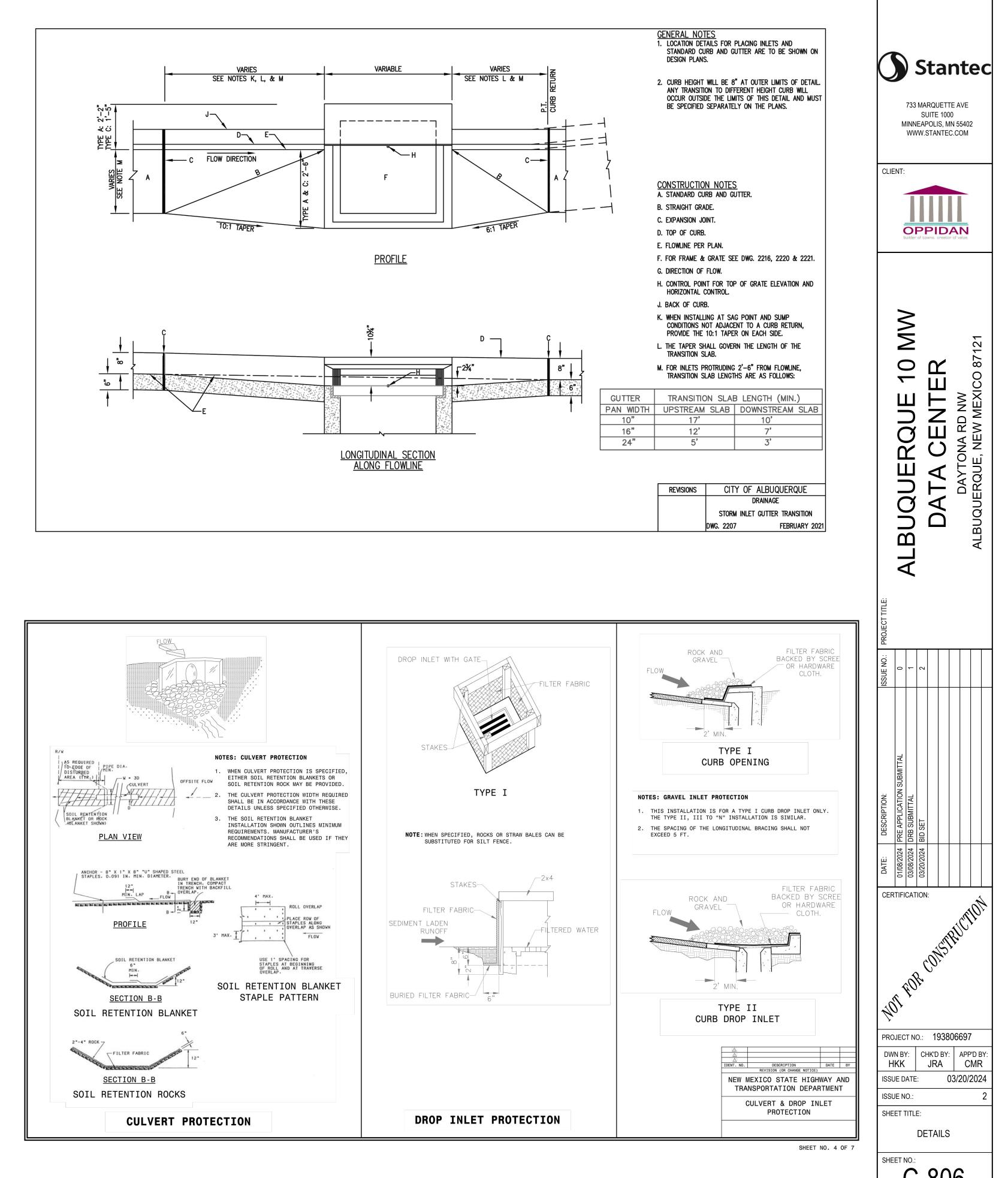
| IANHOLE I.D. | 48" | 60" | 72" | 96" | 120" |
|---------------------------|------------------|------------------|---------|---------|---------|
| OP SLAB THK. | 8" | 8" | 8" | 10" | 10" |
| VALL THK. | 5" | 6" | 7" | 9" | 11" |
| OP LAYER STEEL (IN²/FT) | 0.40 | 0.40 | 0.40 | 0.40 | 0.40 |
| BTM LAYER STEEL (IN²/FT) | 0.40 | 0.43 | 0.50 | 1.19 | 1.19 |
| REPLACEMENT STEEL (BAR #) | (8) # 5's | (8) # 5's | (8)#6's | (8)#8's | (8)#8's |
| PPROX. WEIGHT (LBS.) | 1,521 | 2,513 | 3,720 | 8,468 | 13,355 |

<u>NOTES:</u> 1) f'c = 4000 psi (MIN.)

2) fy = 60,000 (MIN.) 3) 1 1/2" MINIMUM CLEAR CONCRETE COVER OVER REINFORCEMENT) HS-20 LIVE LOAD 5) SEE TABLE FOR APPROXIMATE WEIGHT

| REVISIONS | WATER AU | ITHORITY |
|-----------|-----------------------------------|--------------|
| | SANITARY CONCRETE MANH TYPE | OLE TOP SLAB |
| | DWG. 2107 | JAN. 2013 |





GENERAL NOTES

- 1. ALL CONCRETE SHELF SLOPES TO BE 1" PER FT.
- 2. 1/4" PER FT. MIN. SLOPE FOR 4" OR 6" SERVICE LINE.
- NEW SERVICE CONNECTIONS TO EXISTING MANHOLES MUST BE CORE DRILLED.
- 4. 8" OR LARGER SERVICE CONNECTIONS MUST BE MADE TO A MANHOLE.

CONSTRUCTION NOTES

- A. CAST IRON SERVICE STUB.
- B. VARIABLE WITH MAX. ANGLE OF 90°.
- C. FORM INVERT IN SHELF.
- D. BELL END.
- E. CONCRETE, SEE SECTION 101.
- F. MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF PRECAST CONCRETE IS USED, USE MASTIC GASKETS AND APPLY NON-SHRINK GROUT TO EXTERIOR AND INTERIOR OF OF EXPANSION JOINTS. IF BLOCK IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF
- G. INVERT ELEVATIONS OF SERVICE LINES SHALL BE THE SAME AS THE SPRING LINE ELEVATION OF THE SEWER MAIN.
- H. MIN. 5" BLOCK FOR 4' I.D. MANHOLE, 8" BLOCK OR DOUBLEWALL OF 2~5" BLOCKS FOR 6' OR 8' DIAMETER MANHOLES.

WATER AUTHORITY

SANITARY SEWER

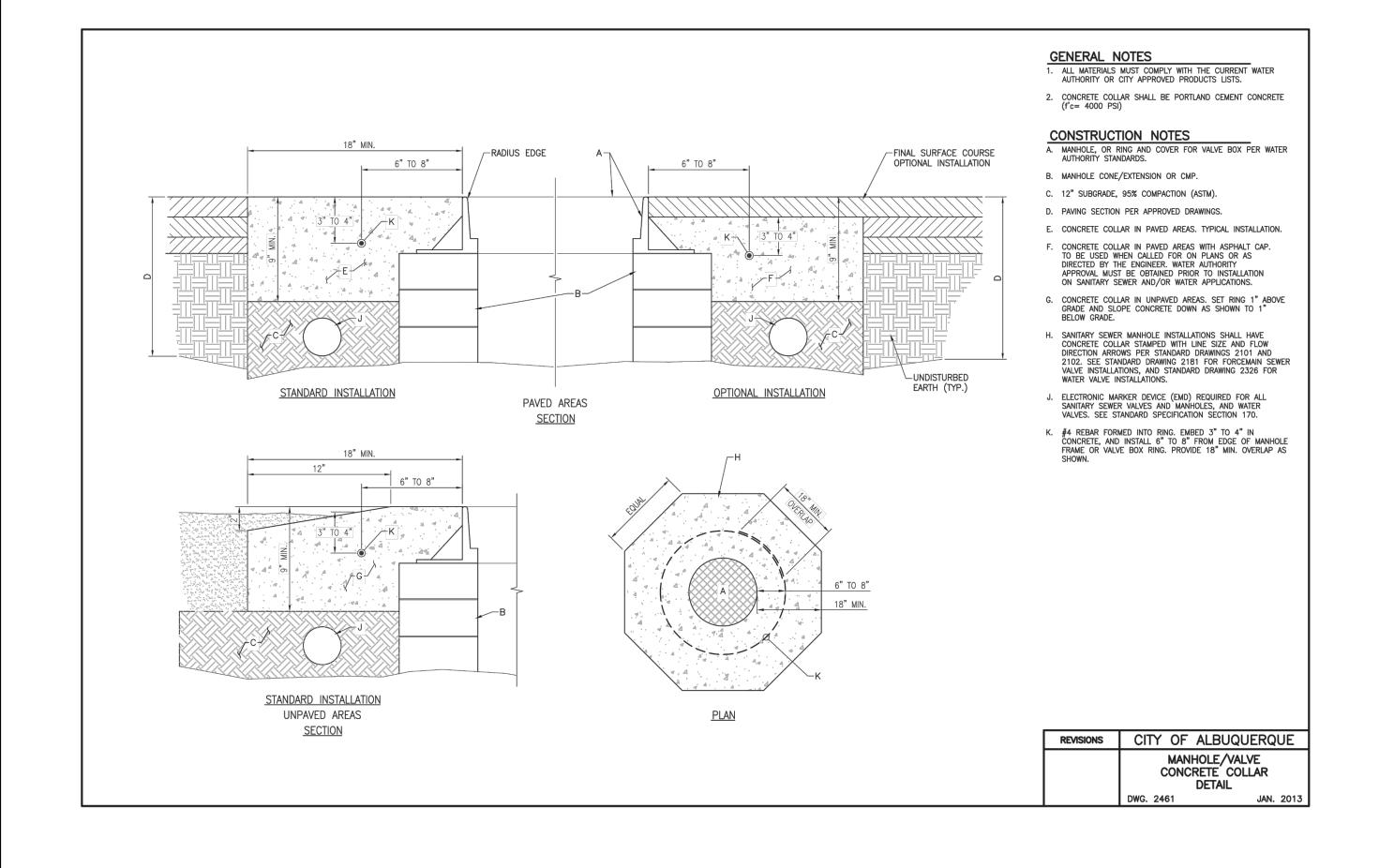
SERVICE LINE CONNECTIONS AT MANHOLE

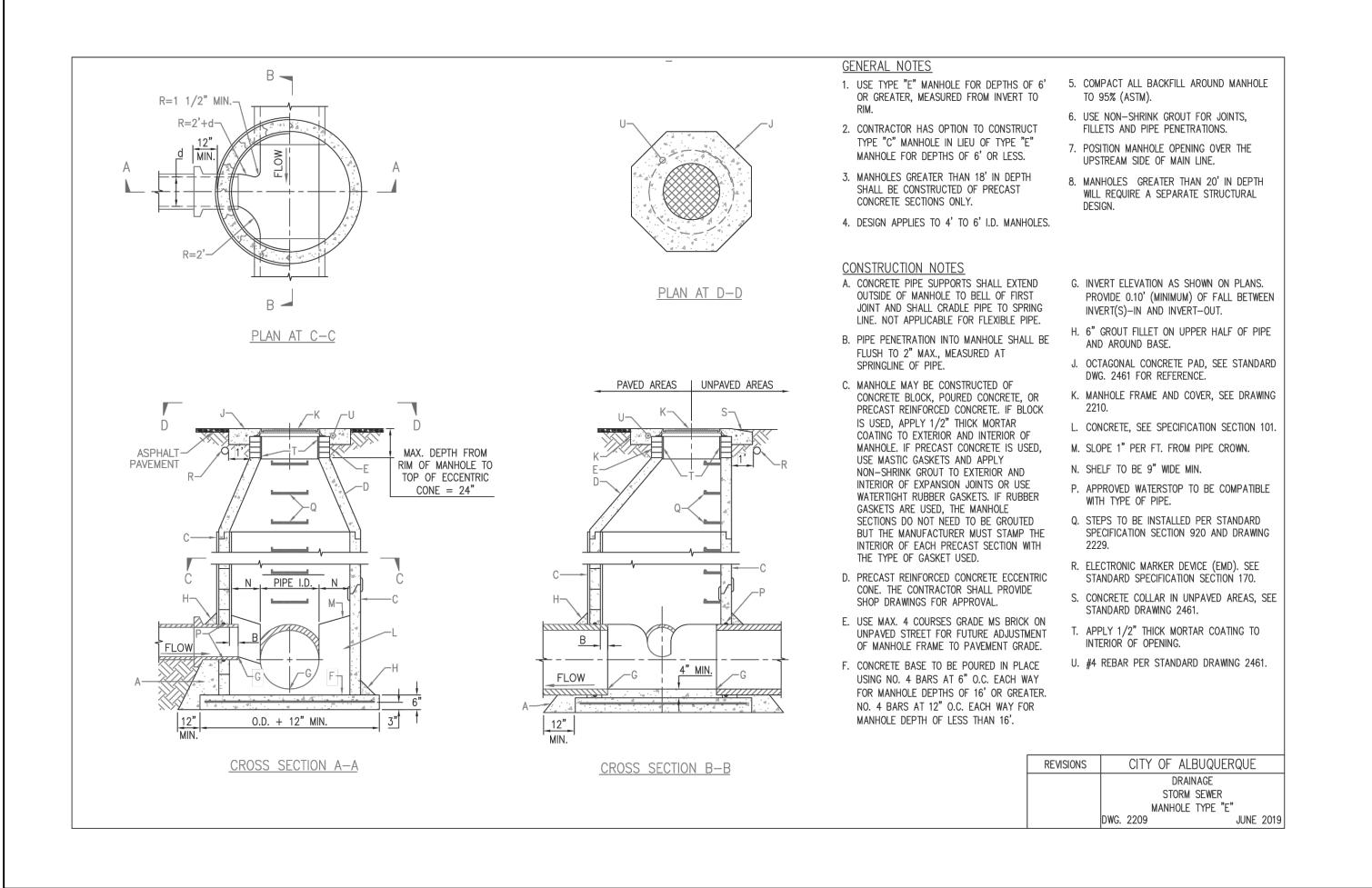
JAN. 2013

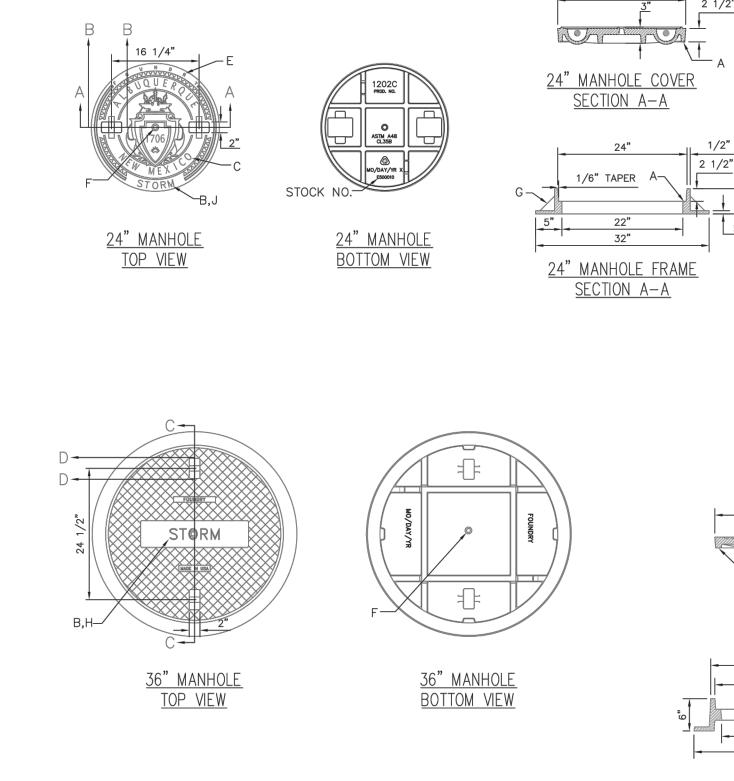
DWG. 2118

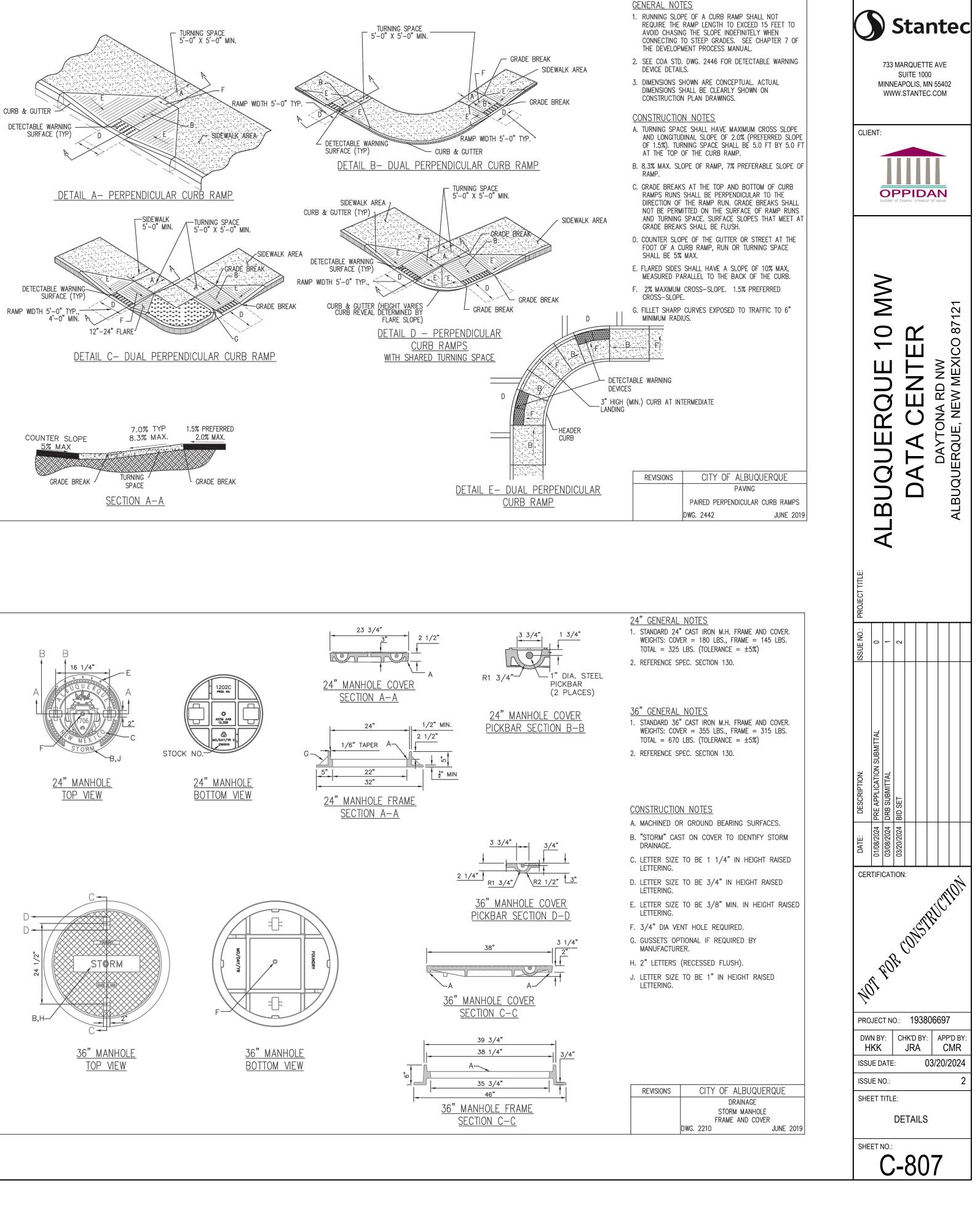
J. PRECAST WALL THICKNESS: 4' I.D. MANHOLE - 5" MIN. 6' I.D. MANHOLE - 7" MIN. 8' I.D. MANHOLE - 9" MIN.

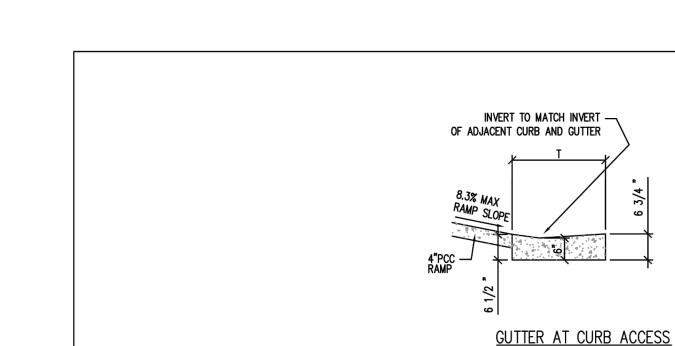
REVISIONS





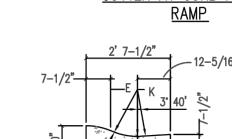






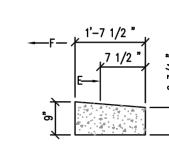
<u>k 1'-0" k 1'-0"</u>

ALLEY GUTTER

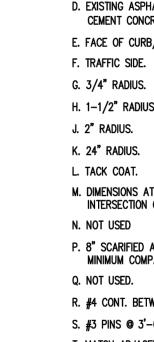


MOUNTABLE ROLL

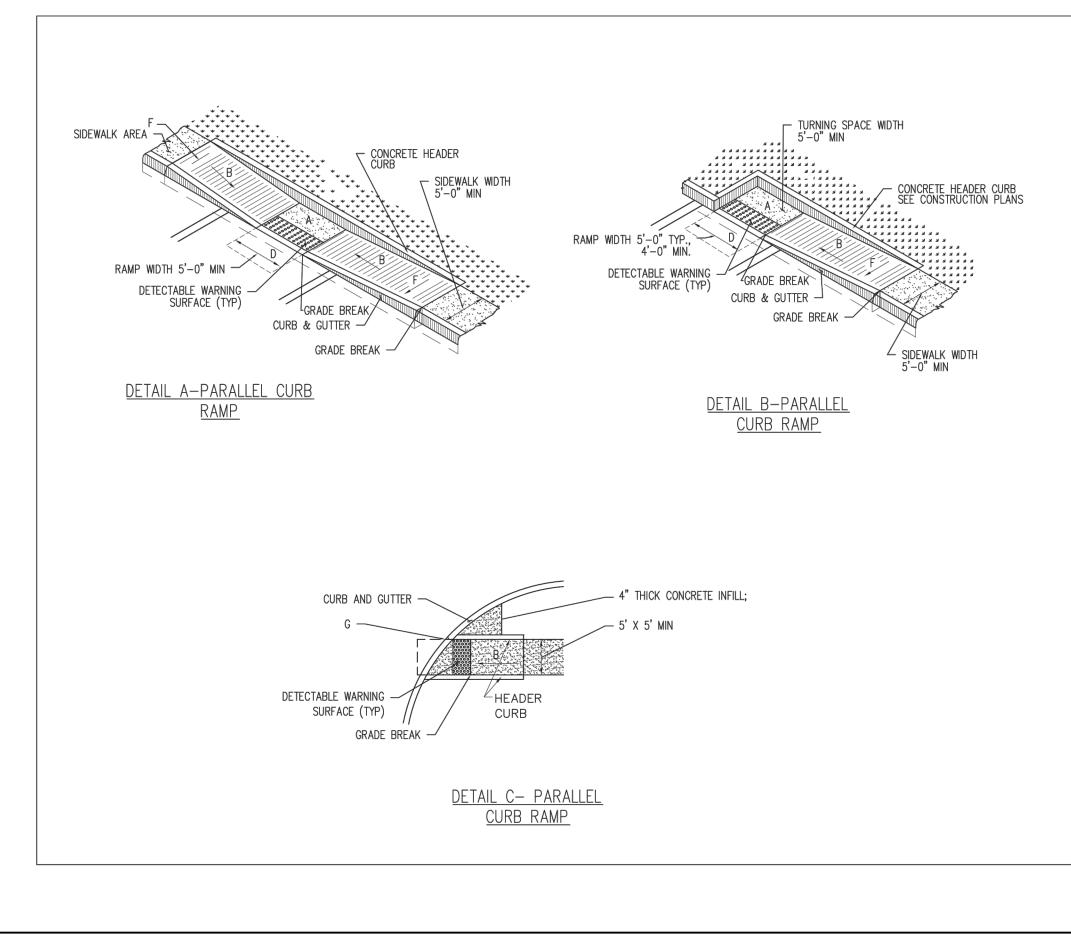
CURB AND GUTTER

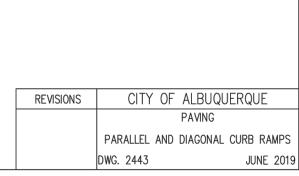


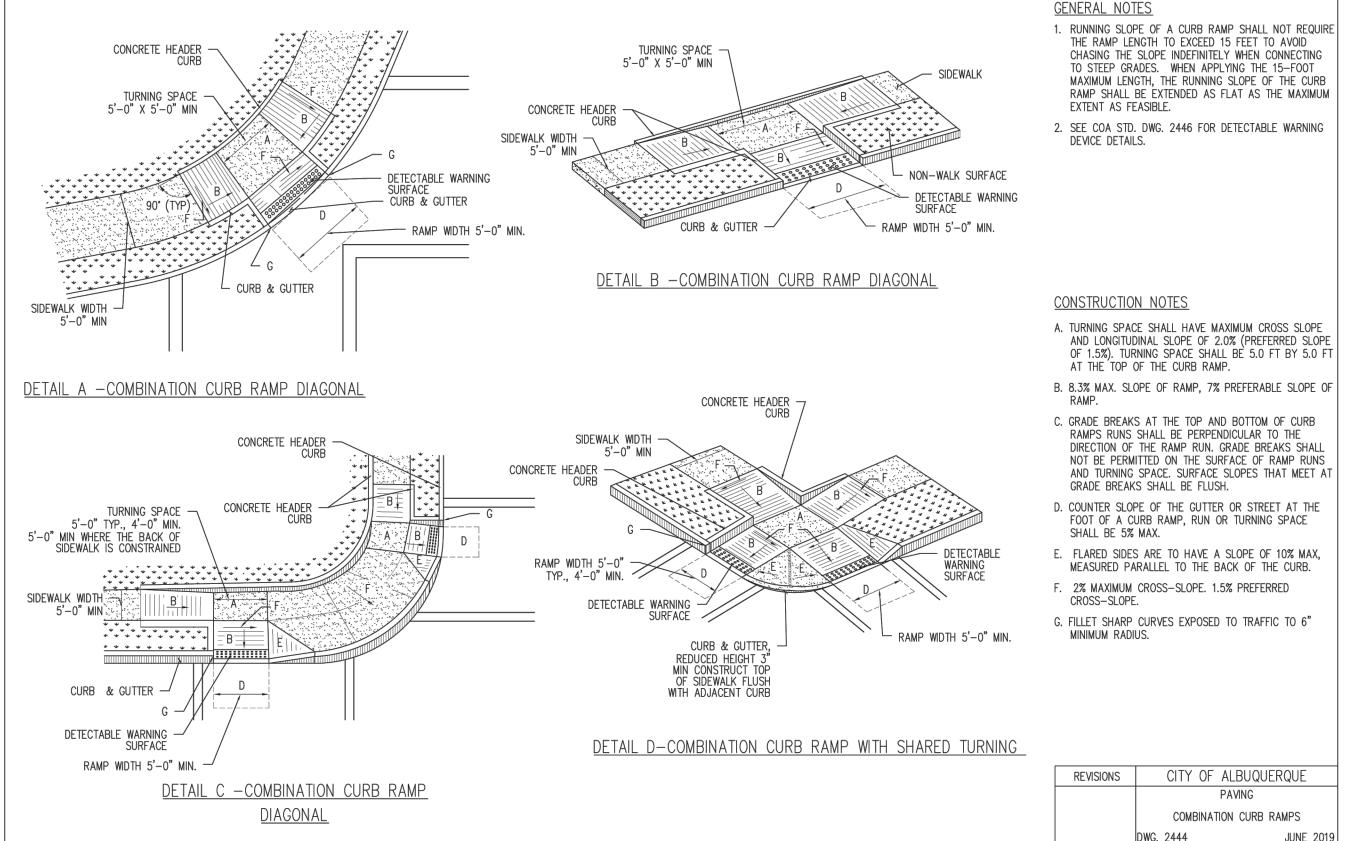




| | DEVICIONS |
|-------------------------------|-----------|
| REVISIONS CITY OF ALBUQUERQUE | REVISIONS |
| PAVING | |
| CURB AND GUTTER DETAILS | |
| DWG. 2415B FEBRUARY 2021 | |







1. RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE

CHASING THE SLOPE INDEFINITELY WHEN CONNECTING

TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB

RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM

2. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING

A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE

B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF

C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB

RAMPS RUNS SHALL BE PERPENDICULAR TO THE

D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE

FOOT OF A CURB RAMP, RUN OR TURNING SPACE

E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX,

F. 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED

G. FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6"

MEASURED PARALLEL TO THE BACK OF THE CURB.

DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL

NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT

OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT

THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID

GENERAL NOTES

EXTENT AS FEASIBLE.

CONSTRUCTION NOTES

RAMP

AT THE TOP OF THE CURB RAMP.

GRADE BREAKS SHALL BE FLUSH.

SHALL BE 5% MAX.

CROSS-SLOPE.

MINIMUM RADIUS.

DEVICE DETAILS.

P. 8" SCARIFIED AND COMPACTED SUBGRADE. 95% MINIMUM COMPACTION PER SECTION 301. R. #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS. S. #3 PINS @ 3'-0" O.C. W/STD. HOOK.

M. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

H. 1-1/2" RADIUS.

CEMENT CONCRETE (PCC) PAVEMENT.

A. REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL,

PROVIDE 1/4" EXP JOINT BETWEEN BACK OF CURB &

CHANNEL LINING AND/OR WALL.

B. VARIABLE, DEPRESS AS NEEDED. C. DRIVE NO. 4 PINS 18" DEEP IN HOLES DRILLED @ 2" O.C. IN EXISTING PAVEMENT, SEAL WITH EPOXY.

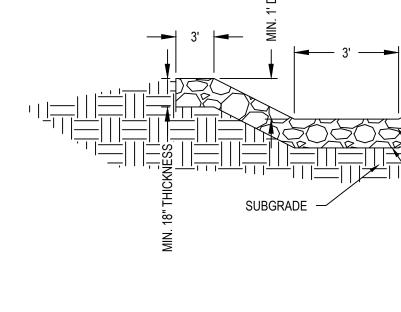
D. EXISTING ASPHALT CONCRETE (AC) OR PORTLAND

E. FACE OF CURB/FLOW LINE.

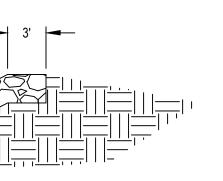
GENERAL NOTES SEE COA DRAWING 2415A

CONSTRUCTION NOTES

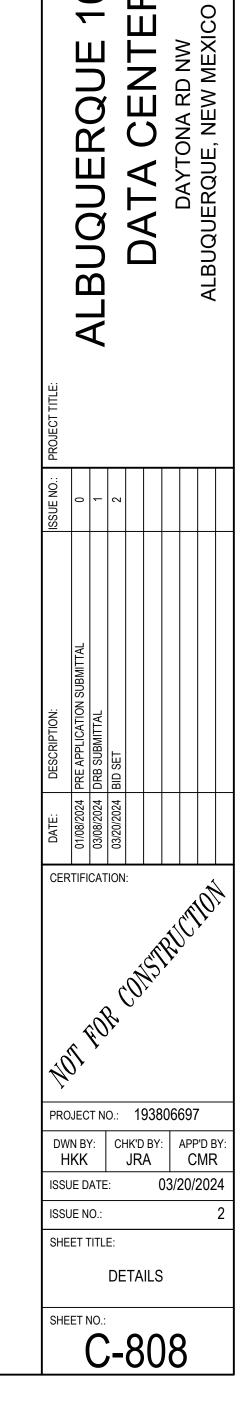
T. MATCH ADJACENT GUTTER PAN WIDTH AND FLOWLINE.







5" TYPE M RIPRAP PER COA SPEC 109 GEOTEXTILE FILTER BELOW RIPRAP



Stantec

733 MARQUETTE AVE

SUITE 1000 MINNEAPOLIS, MN 55402

WWW.STANTEC.COM

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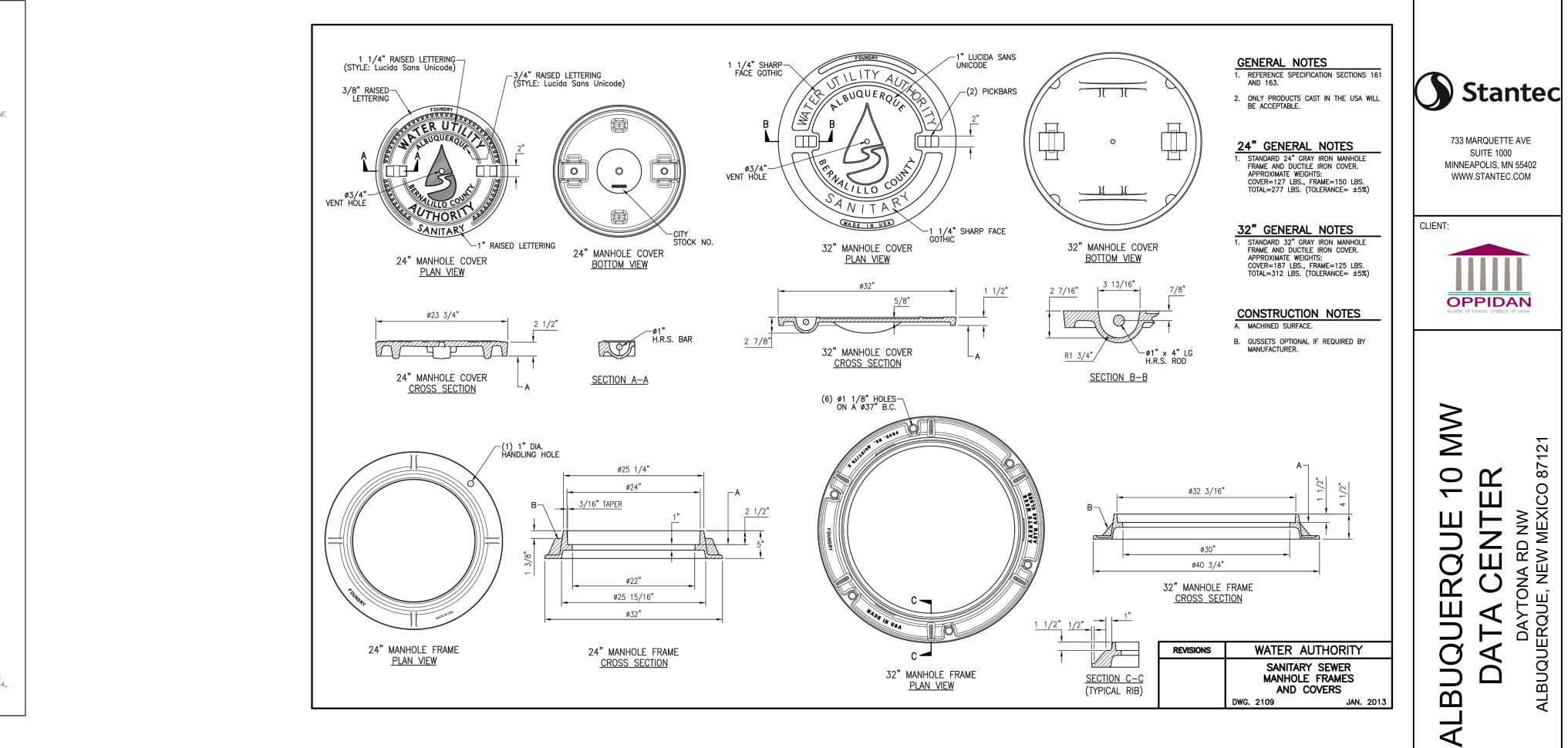
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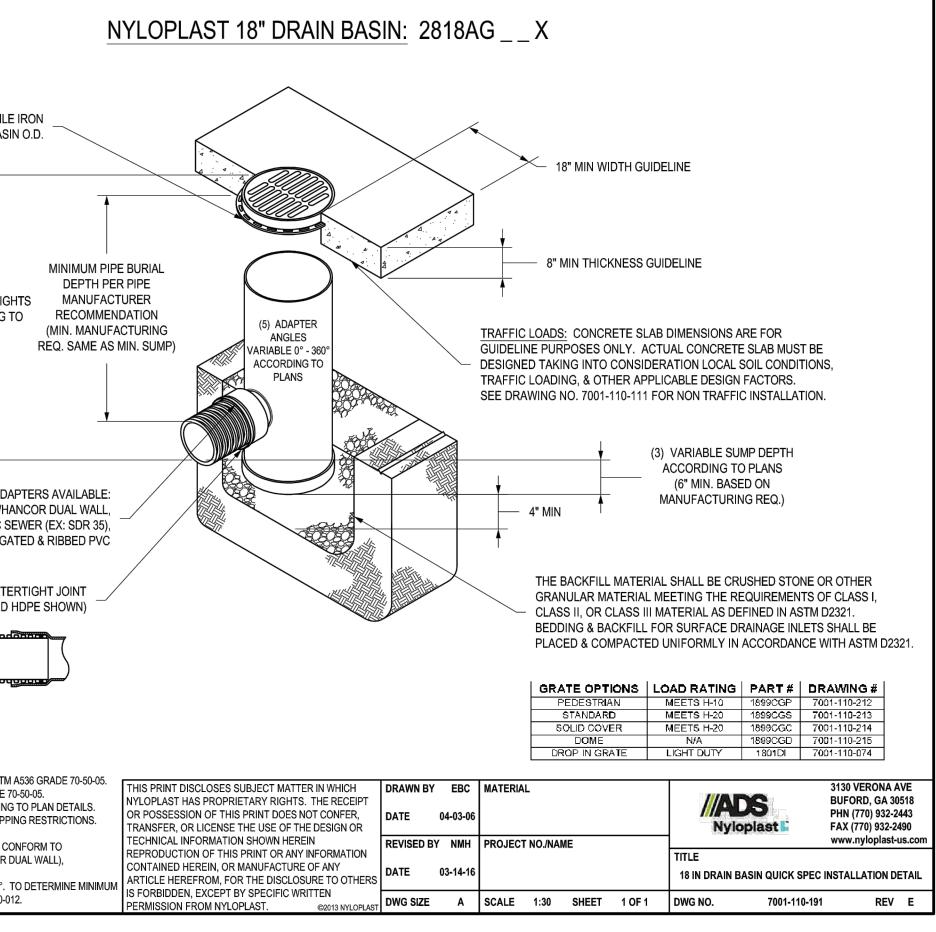
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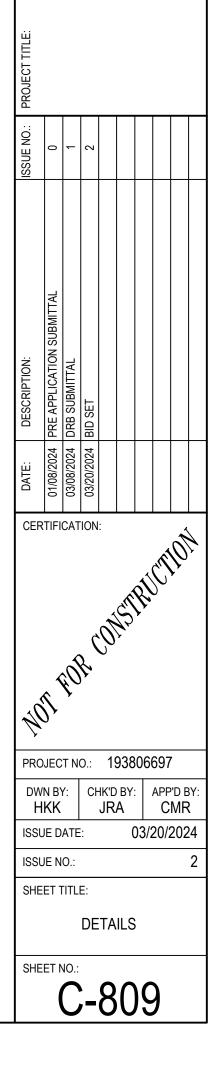
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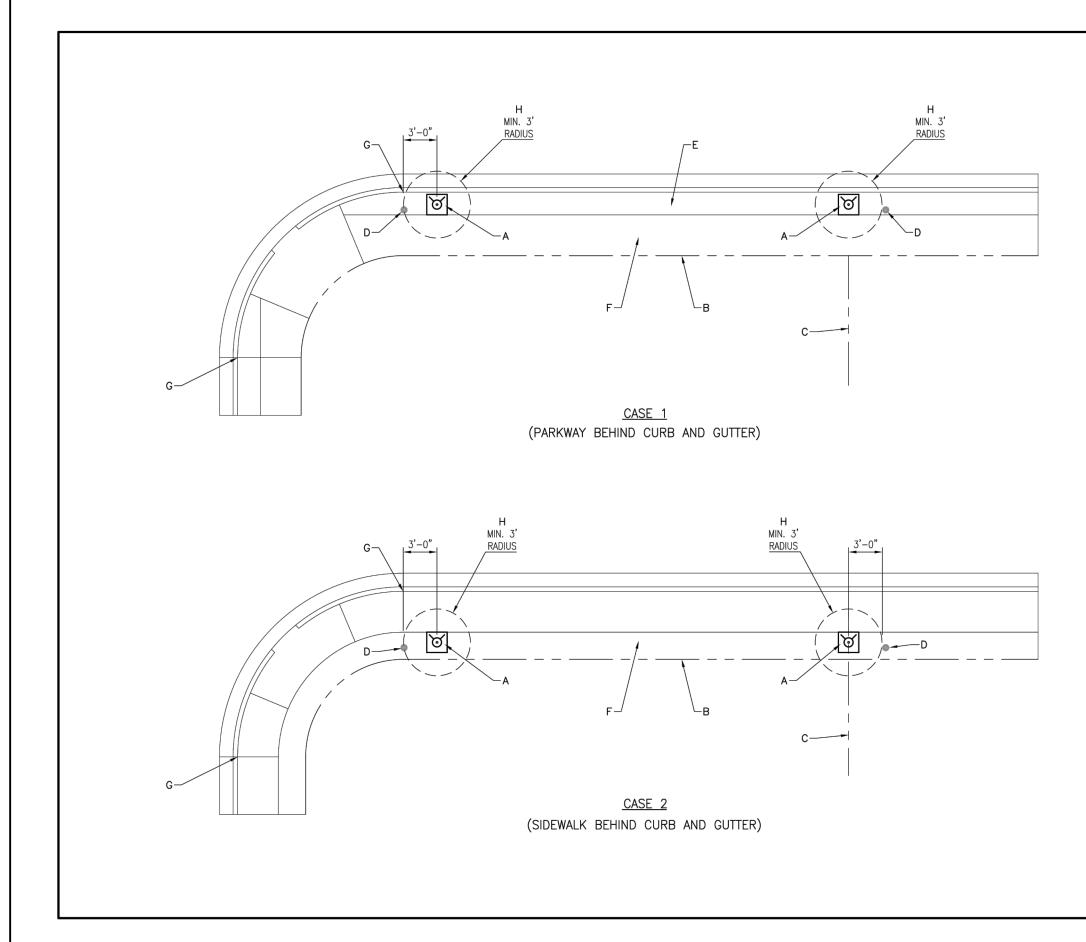
| REVISIONS | CITY OF ALBUQUERQUE | |
|-----------|------------------------|-----|
| | PAVING | |
| | COMBINATION CURB RAMPS | |
| | DWG. 2444 JUNE | 201 |

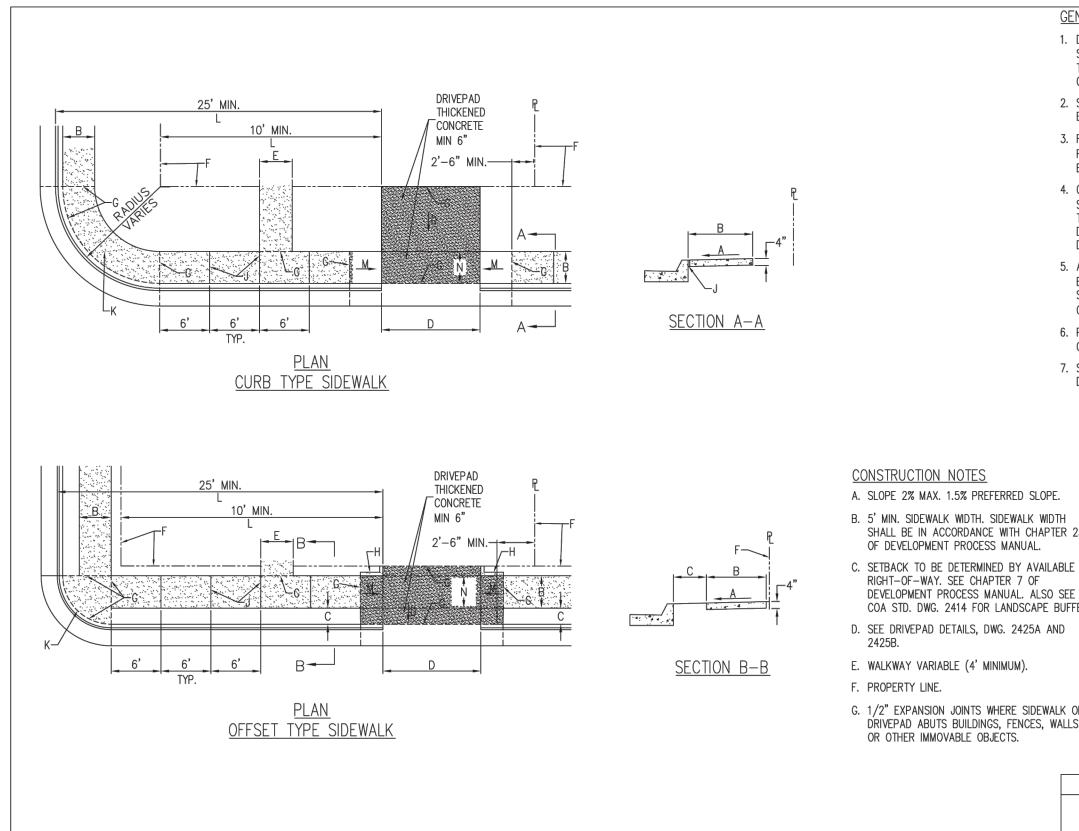
| CORRUGATED POLYETHYLENE PIPE DIMPLES DIMPLES DIMPLES DIMPLED ADAPTOR BAND THIS END OF THE BAND SHALL BE GROOVED TO MATCH THE ANNULAR CORRUGATION IN THE METAL APRON. BOLT METAL APRON TO OUTSIDE OF ADAPTOR BAND. TOP VIEW | THREADED GALV. 5/8" DIA. ROD OVER TOP OF APRON GALV. SIDE LUGS (BOLTED) TYPE NO. 2 USE ON PIPE WITH ANNULAR CORRUGATIONS |
|--|---|
| EDGE REINF. SEE SECTION A-A UIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII | |
| ALTERNATE REINFORCED EDGE SECTION A-A | $\begin{array}{c c c c c c c c c c c c c c c c c c c $ |
| | NOTE: corrugated polyethylene pipe shall conform to aashto m294. |
| 1 METAL APRON FOR GALVANIZED C-809 NOT TO SCALE | PVC PIPE |
| | (1, 2) INTEGRATED DUCTILE IF FRAME & GRATE TO MATCH BASIN (3) VARIABLE INVERT HEIGHT AVAILABLE (ACCORDING TO PLANS/TAKE OFF) (4) VARIOUS TYPES OF INLET & OUTLET ADAP 4" - 18" FOR CORRUGATED HDPE (ADS N-12/HAN ADS/HANCOR SINGLE WALL), N-12 HP, PVC SEV PVC DWV (EX: SCH 40), PVC C900/C905, CORRUGATED HD WATER (CORRUGATED HD |
| | GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A5 FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-5 DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING SEE DRAWING NO. 7001-110-065. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CON ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DU, N-12 HP, & PVC SEWER. ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012. |











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| . SEE DET | | | DWO | 3 2425/ | AND | 2425E | B FOR | DRIVEP | AD |
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| RE | VISIO | ONS | | CITY | OF (| ALBL | IQUE | RQUE | |
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| | | | DWG | . 2430 | | | | JUNE | 201 |
| | | | | | | | | | |

OBSTACLES FOR ADA ACCESS.

SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN ½" REQUIRE A RAMP. 6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND

DIRECTION OF TRAVEL. 5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN ${
m 14}^{
m "}$ and ${
m 12}^{
m "}$ shall be beveled with a

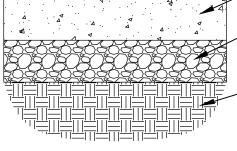
4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN ½" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO

3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.

CONSTRUCTION. 2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.

GENERAL NOTES 1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO





COA 302 - COMPACTED SUBGRADE

4" AGGREGATE BASE COURSE AS PER

- 4" PORTLAND CEMENT CONCRETE AS PER NMDOT





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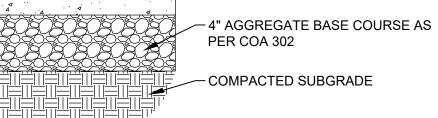
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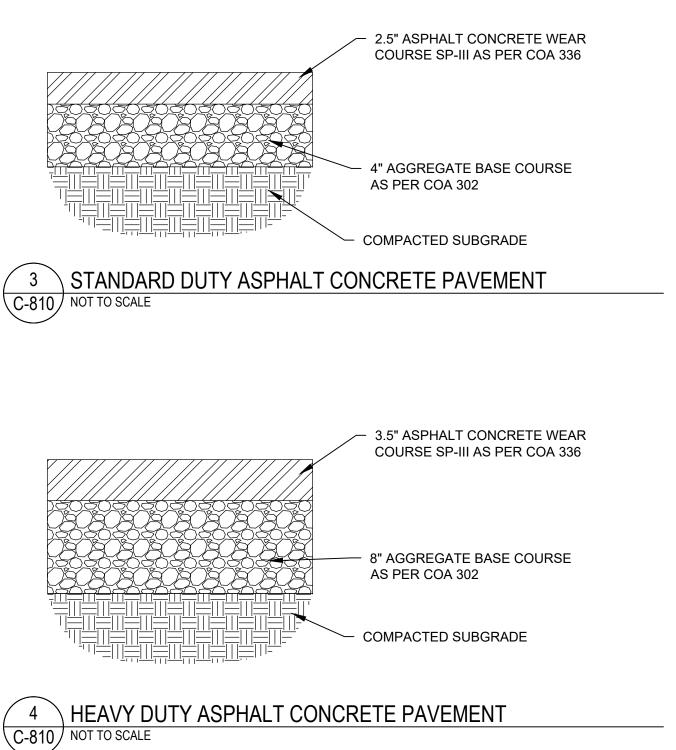
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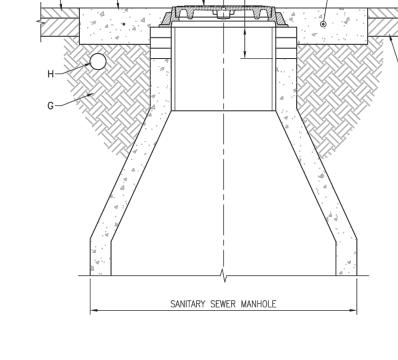


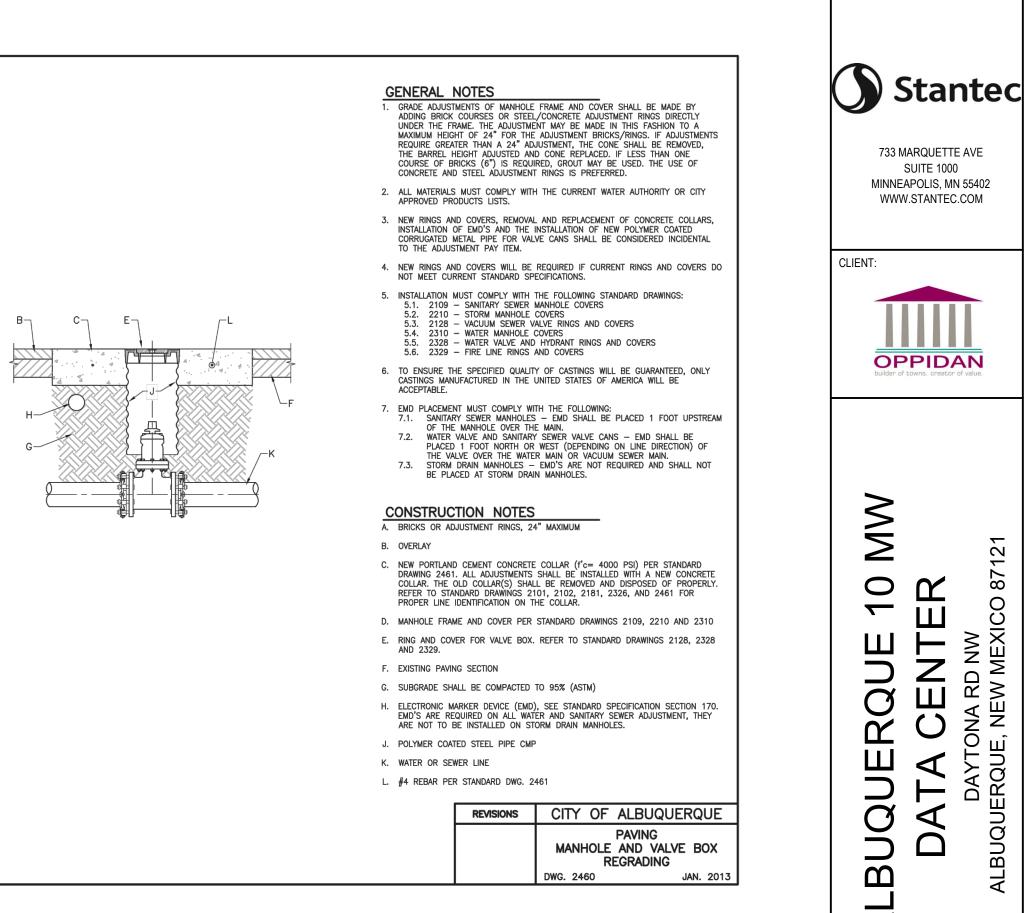
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-7.5" PORTLAND CEMENT CONCRETE AS PER NMDOT



| REVISIONS | WATER AU | ITHORITY |
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| JAN. 2011 | WATI TYPICAL FIRE LOCAT | HYDRANT |
| | DWG. 2347 | APR. 2019 |
| | | |





2. A MINIMUM CLEARANCE OF 3' SHALL BE PROVIDED BETWEEN FIRE HYDRANT AND ANY PERMANENT OBSTRUCTION (UTILITY POLE, LIGHT STANDARD, TRAFFIC SIGNAL, ETC.).

H. MAINTAIN A MINIMUM CLEARANCE OF 3' RADIUS FROM CENTER OF

HYDRANT TO ANY AND ALL OBSTRUCTIONS.

3. FOR FIRE HYDRANT INSTALLATION DETAILS, SEE STANDARD

DRAWING 2340.

A. FIRE HYDRANT AND PAD

D. PERMANENT OBSTRUCTION

G. PC OR PT OF CURB RETURN

C. PROPERTY LINE

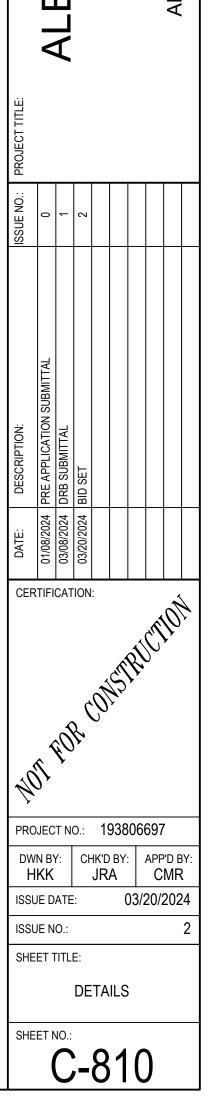
E. PARKWAY

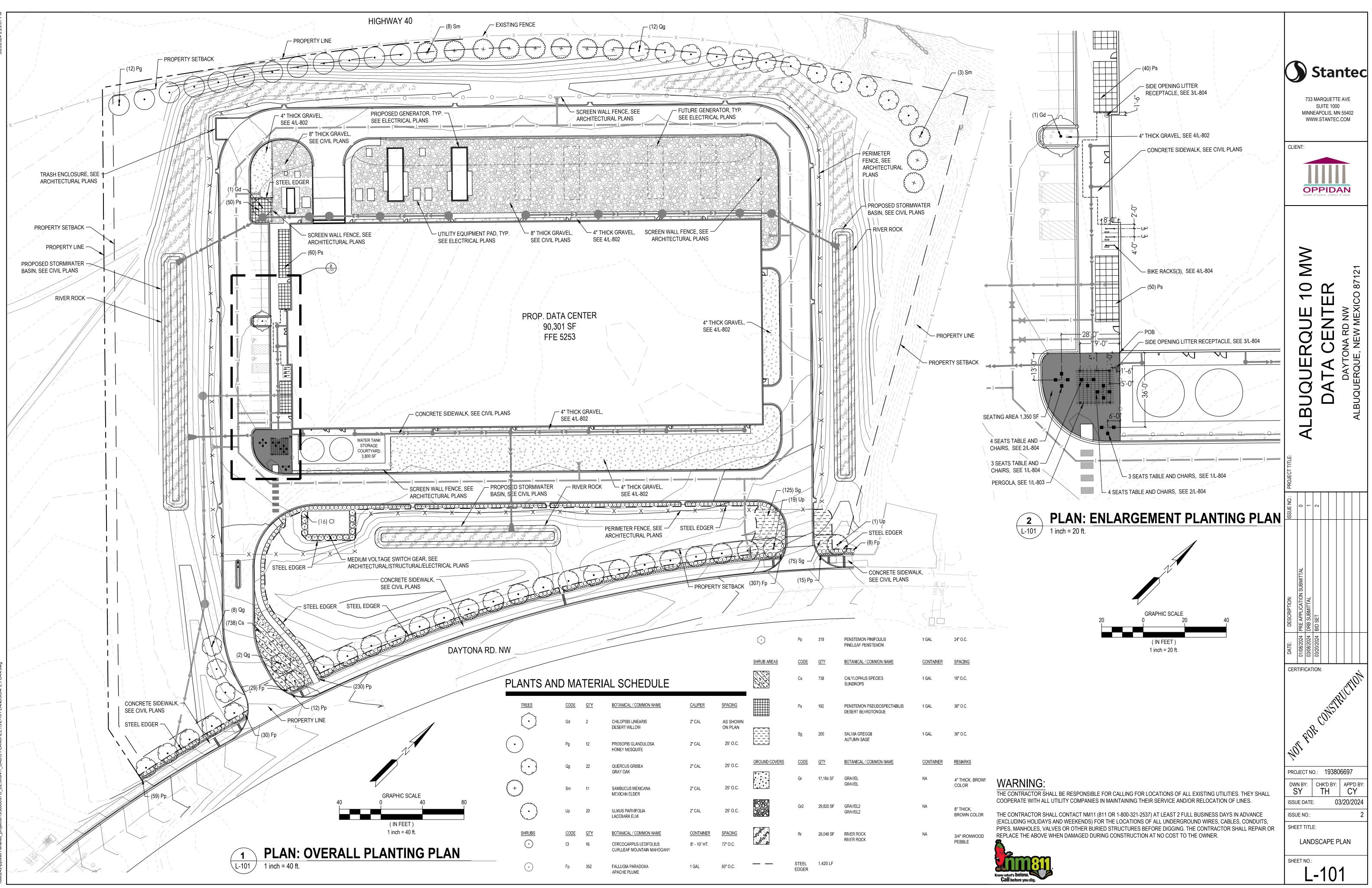
F. SIDEWALK

CONSTRUCTION NOTES

B. RIGHT-OF-WAY OR EASEMENT LINE

- FIRE HYDRANTS ARE NOT TO BE LOCATED WITHIN THE CURB RETURN AREA. FIRE HYDRANTS LOCATED IN THE MID BLOCK LENGTH SHALL BE CENTERED ON ADJOINING PROPERTY LINES, UNLESS OTHERWISE SPECIFIED.
- GENERAL NOTES





-ppfss01/shared projects/193806697/5 DESIGN/1 CAD/3 PLANSHEETS/L-101 LANDSCAPE

INSPECTION AND ACCEPTANCE

- LANDSCAPE WORK WILL BE INSPECTED FOR ACCEPTANCE IN PARTS AGREEABLE TO THE OWNER. PROVIDED WORK OFFERED FOR INSPECTION IS COMPLETE, INCLUDING MAINTENANCE, FOR THE PORTION IN QUESTION.
- AT THE CONCLUSION OF THE ESTABLISHMENT PERIOD, WHICH WILL BE ONE YEAR FOLLOWING INITIAL INSTALLATION, A FINAL INSPECTION OF PLANTING WILL BE MADE TO DETERMINE THE CONDITIONS OF AREAS SPECIFIED FOR LANDSCAPING.
- WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.

PLANTING NOTES

- CONTRACTOR SHALL PROVIDE STAKED LOCATION OF PLANT MATERIAL PRIOR TO PERFORMING ANY PLANT INSTALLATION WORK. UPON APPROVAL OF STAKING LOCATIONS, CONTRACTOR SHALL EXCAVATE PLANTING HOLES CENTERED AT STAKED LOCATIONS.
- PERFORM PLANT HOLE EXCAVATION AS DETAILED AND TO A DIAMETER A MINIMUM OF TWO TIMES THE
- DIAMETER OF THE ROOT BALL OR CONTAINER.
- REMOVE STICKS, RUBBISH, FOREIGN MATERIALS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSIONS.
- SET BALLED AND BURLAPPED (B&B) STOCK ON LAYER OF COMPACTED PLANTING SOIL MIXTURE, B&B SHALL BE PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF ALL EXCAVATED EDGES AT SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES.
- ROOT FLARE OF THE TREE MUST BE ABOVE FINISHED GRADE PER DETAILS. CUT ALL CORDS AND TWINE AND REMOVE WIRE BASKET AND BURLAP FROM TOP AND SIDES OF BALLS;
- RETAIN BURLAP ON BOTTOMS WHEN SET, PLACE ADDITIONAL PLANTING SOIL BACKFILL AROUND BASE AND SIDES OF BALL, AND WORK
- EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN EXCAVATION IS APPROXIMATELY 2/3 FULL, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL
- REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING FINAL LAYER OF BACKFILL
- FOR CONTAINER GROWN STOCK, SAME AS FOR BALLED AND BURLAPPED STOCK, EXCEPT CUT 10. CONTAINERS ON SIDES INTO QUARTERS WITH SHEAR. REMOVE CONTAINER BEFORE SETTING PLANT SO AS NOT TO DAMAGE ROOT BALLS.
- WATER EACH PLANT WITHIN 2 HOURS OF PLANTING. 11
- ALL PLANTINGS TO BE MULCHED UNLESS OTHERWISE NOTED ON THE PLAN. 12 PLACE 3-INCH THICKNESS OF MULCH AROUND TREES AND SHRUBS WITHIN A PERIOD OF 48 HOURS 13 AFTER THE SECOND WATERING.
- 14. DO NOT PLACE MULCH IN DIRECT CONTACT WITH TRUNKS OR STEMS.
- 15. ROCK MULCH BEDS SHALL RECEIVE 4" DEPTH MIN. LOCALLY AVAILABLE $\frac{3}{4}$ " IRONWOOD PEBBLE ROCK MULCH, OR APPROVED EQUAL, OVER NEEDLE PUNCHED POLYPROPYLENE WEED BARRIER FABRIC. WITHIN GENERATOR COURTYARD AREA, ROCK MULCH BEDS SHALL RECEIVE 8" DEPTH MIN. SEE CIVIL PLANS. SUBMIT MULCH SAMPLE FOR OWNER APPROVAL.
- NEEDLE PUNCHED POLYPROPYLENE WEED BARRIER FABRIC UNDER FABRIC ENDS SHALL BE 16 OVERLAPPED 3 INCHES, MINIMUM 4 OUNCE. EDGES OF FABRIC SHALL BE TURNED DOWN 6 INCHES. 17
- GRADE LANDSCAPE EDGING BY COL-MET OR APPROVED EQUAL, 6"X12 GAUGE STEEL.

MAINTENANCE NOTES

- WHEN INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED BY OWNER AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM SITE.
- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
- MAINTAIN TREES AND BUSHES INCLUDING WATERING FOR ONE YEAR AFTER ACCEPTANCE BY OWNER. IT IS CONTRACTORS RESPONSIBILITY FOR COORDINATE WATERING. TRIM, PRUNE, REMOVE CLIPPINGS AND DEAD OR BROKEN BRANCHES, AND TREAT PRUNED AREAS AND
- OTHER WOUNDS. IT IS THE CONTRACTOR'S OPTION WHETHER OR NOT TO STAKE TREES. THE CONTRACTOR IS
- RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT POSITION THROUGHOUT THE ONE-YEAR GUARANTEE PERIOD.

GUARANTEE AND REPLACEMENTS

- 1. PLANT MATERIAL SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER OWNER ACCEPTANCE AND SHALL BE ALIVE AND IN SATISFACTORY CONDITION AT THE END OF THE GUARANTEE PERIOD. SUCH GUARANTEE EXCLUDES VANDALISM.
- 2. AT THE END OF THE ONE-YEAR GUARANTEE PERIOD, INSPECTION WILL BE MADE BY THE OWNER UPON WRITTEN NOTICE BY THE CONTRACTOR AT LEAST FIVE DAYS BEFORE THE ANTICIPATED DATE. ANY PLANT MATERIAL REQUIRED UNDER THE CONTRACT THAT IS DEAD OR NOT IN SATISFACTORY CONDITION, AS DETERMINED BY THE OWNER, SHALL BE REMOVED FROM THE SITE, AND SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT DURING THE NORMAL PLANTING SEASONS.
- THE OPINION OF THE OWNER SHALL GOVERN IN ANY AND ALL DISPUTES BY THE CONTRACTOR REGARDING THE CONDITION AND DISPOSITION OF UNSATISFACTORY MAINTENANCE PROCEDURES OR REJECTED PLANTS.
- ALL REPLACEMENTS SHALL BE PLANT MATERIAL OF THE SAME KIND AND SIZE AS SPECIFIED IN THE 4 PLANT LIST. REPLACEMENT COSTS SHALL BE BORNE BY THE CONTRACTOR.
- REPLACEMENT PLANTINGS REQUIRED AT THE END OF THE GUARANTEE PERIOD ARE NOT TO BE GUARANTEED. THE PLANT MATERIAL IS SUBJECT TO INSPECTION AND REJECTION BY THE OWNER BEFORE AND AFTER PLANTING.

LANDSCAPE NOTES

- TREES AND SHRUBS SHALL BE PROVIDED IN THE QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY AS CHOSEN BY THE OWNER/OWNER AS LISTED IN THE PLANT SCHEDULE.
- TREES AND SHRUBS SHALL BE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS. OWNER RETAINS THE RIGHT TO INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE
- MATERIAL AT ANY TIME DURING PROGRESS OF WORK. NURSERY STOCK SHALL BE DELIVERED DIRECTLY FROM NURSERY. HEEL IN IMMEDIATELY UPON DELIVERY IF NOT TO BE PLANTED WITHIN FOUR HOURS, COVERING WITH MOIST SOIL OR MULCH TO PROTECT FROM DRYING.
- STORE PLANTS IN SHADE AND PROTECT FROM WEATHER. PROTECTION FROM EXTREMES IN EXPOSURE AND ROUGH HANDLING SHALL BE PROVIDED FOR ALL PLANT
- MATERIALS DURING TRANSPORT AND STORAGE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS PRIOR TO PLANTING SO THAT A MUTUALLY AGREEABLE TIME MAY BE ARRANGED FOR INSPECTION.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS WITH STAKES CENTERED AT PROPOSED PLANTING LOCATIONS FOR APPROVAL BY OWNER.
- DO NOT START PLANTING WORK UNTIL LAYOUT IS APPROVED BY THE OWNER. THE LANDSCAPE CONTRACTOR MUST PROVE THE OPEN SUB-GRADE OF ALL PLANTING AREAS AFTER THEIR EXCAVATION IS CAPABLE OF INFILTRATING A MINIMUM REQUIREMENT OF 1/4-INCH OF WATER PER HOUR PRIOR TO INSTALLATION OF PLANT MATERIALS, TOPSOIL, IRRIGATION, WEED MAT, AND MULCH. PLANTING AREAS NOT CAPABLE OF MEETING THIS REQUIREMENT SHALL HAVE 4" DIAMETER X 48" DEPTH HOLES AUGURED EVERY 36" ON-CENTER AND FILLED WITH IDOT FREE-DRAINING COARSE FILTER AGGREGATE. RE-TEST SUB-GRADE PERCOLATION FOR COMPLIANCE TO INFILTRATION MINIMUM REQUIREMENT.
- ALL GRADED AREAS OF THE SITE THAT ARE DESIGNATED FOR SHRUBS, TREES AND PERENNIALS SHALL HAVE NO LESS THAN 12" OF IMPORTED TOP SOIL, MEETING IDOT CLASSIFICATIONS FOR PLANTING SOIL FOR TREES, SHRUBS, AND TURF.

CODES AND INSPECTION

- AND WITH THE ESTABLISHED CODES ALLOCABLE THERETO.
- WORK UNDER THIS CONTRACT.

QUALITY ASSURANCE

- - CONFORMING TO THESE CODES.
 - CONSTRUCTION DOCUMENTS.

PROTECTION OF EXISTING CONDITIONS

- SHOWN ON DRAWINGS.
- COST TO OWNER.

COORDINATION

- CONSTRUCTION SEQUENCE AND EQUIPMENT INSTALLATION.

IRRIGATION CONTRACTORS RESPONSIBILITY

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR THE LANDSCAPE IMPROVEMENTS. AUTOMATIC CONTROL VALVES SHALL BE RAIN BIRD PEB PLASTIC BODY AUTOMATIC VALVE OR AS
- APPROVED BY THE CITY DEPARTMENT RESPONSIBLE FOR MAINTENANCE.
- ALL VALVES SHALL BE INSTALLED IN VALVE BOXES PER CITY OF ALBUQUERQUE STANDARD 3.
- SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (CITY STANDARD SPECIFICATIONS). VALVE BOXES SHALL BE LOCATED SO EDGE OF VALVE BOX IS MINIMUM TWO FEET FROM THE EDGE OF THE MATURE SPREAD OF A SHRUB AND MINIMUM SIX FEET FROM THE EDGE OF A TREE ROOT BALL.
- VALVE BOXES AND LIDS SHALL BE TAN COLOR. A MINIMUM OF 36 INCHES SHALL BE PROVIDED BETWEEN ADJACENT VALVE BOXES. IRRIGATION SYSTEM SHALL BE A BUBBLER SYSTEM. DRIP AND/OR SPRAY IRRIGATION IS NOT
- ACCEPTABLE. BUBBLERS SHALL BE PROVIDED AS FOLLOWS: a. TREE: 3 EACH 1.0 GALLON PER MINUTE (GPM) BUBBLERS VERTICAL SHRUB: 2 EACH 0.5 GPM BUBBLERS
- SHRUB: 1 EACH 0.5 GPM BUBBLER YUCCA AND OTHER VERY LOW WATER-USE SHRUBS: 1 EACH 0.25 BUBBLER
- BUBBLERS SHALL BE LOCATED 3 FEET FROM THE CENTER OF THE TREE TRUNK, TRIANGULATED AROUND 8 THE ROOT BALL.
- a. WHERE A TREE IS LOCATED ON A SLOPE, TWO (2) OF THE BUBBLERS SHALL BE LOCATED ON THE HIGH SIDE OF THE TREE. b. IF A LANDSCAPED AREA IS TOO NARROW TO TRIANGULATE 3 BUBBLERS AROUND THE ROOT BALL, TWO (2) BUBBLERS SHALL BE INSTALLED. ONE ON EACH SIDE OF THE ROOT WHERE A TREE IS LOCATED ON A
- SLOPE, THE 2 BUBBLERS SHALL BE LOCATED ON THE HIGH SIDE OF THE TREE. BUBBLERS SHALL BE LOCATED 12 INCHES TO 18 INCHES FROM THE CENTER OF THE WHERE A SHRUB IS LOCATED ON A SLOPE, BUBBLERS SHALL BE LOCATED ON THE HIGH SIDE OF THE SHRUB.
- 10. WHERE THERE ARE SIGNIFICANT CHANGES IN ELEVATION, IN-LINE CHECK VALVES SHALL BE INSTALLED
- ON LATERAL LINES AS REQUIRED TO EVENLY DISTRIBUTE LOW HEAD DRAINAGE. 11. AN AIR RELIEF VALVE SHALL BE INSTALLED AT EACH HIGH POINT ON THE MAIN LINE.
- 12. THE IRRIGATION SYSTEM SHALL BE INDEPENDENT OF OTHER PROPERTIES AND SHALL HAVE DEDICATED UTILITIES. IRRIGATION SYSTEM SHALL CONNECT TO A PUBLIC WATER SYSTEM NON-POTABLE LINE IF AVAILABLE AND IF RELIABLY CHARGED.
- 13. THE IRRIGATION SYSTEM SHALL HAVE A CROSS CONNECTION DEVICE, INSTALLED AND LOCATED IN ACCORDANCE WITH CITY AND ABCWUA STANDARDS. 14. BACKFLOW PREVENTER ENCLOSURE SHALL BE A "HOT ROK" OR EQUALLY INSULATED ENCLOSURE, WITH
- HEAT TAPE AND ELECTRICAL POWER, HINGED LID, CLASP FOR LOCK, AND L-SHAPED METAL CLASP REINFORCEMENT. BACKFLOW PREVENTER AND ENCLOSURE SHALL BE INSTALLED IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.
- 15. IRRIGATION CONTROLLER SHALL BE PROVIDED IN ACCORDANCE WITH CURRENT CITY STANDARD SPECIFICATIONS AND AS APPROVED BY THE CITY DEPARTMENT RESPONSIBLE FOR MAINTENANCE. 16. IRRIGATION CONTROLLER SHALL BE INSTALLED IN A UL-RATED ENCLOSURE PER CITY STANDARD SPECIFICATIONS OR AS APPROVED BY THE CITY DEPARTMENT RESPONSIBLE LAST PRINTED: SEPTEMBER 4, 2020 LANDSCAPE AND IRRIGATION 11-5 D M FOR MAINTENANCE. ENCLOSURE SHALL BE POWDER COATED, COLOR TAN. ENCLOSURE SHALL BE MOUNTED ON A 6 INCHES THICK SLAB OF CONCRETE WITH 4 INCHES WIDE LIP ON ALL SIDES, SLOPED AWAY FROM THE CONTROLLER ENCLOSURE

- 17. A MASTER VALVE AND FLOW SENSOR SHALL BE PROVIDED AND INSTALLED PER CITY STANDARD SPECIFICATIONS. COMMUNICATION WIRE FOR THE FLOW SENSOR SHALL BE BLACK COMMUNICATION CABLE (WITH INTERNAL CONTROL WIRE AND GROUND) DEDICATED TO THE FLOW SENSOR. 18. ELECTRIC SERVICE SHALL BE PROVIDED TO THE IRRIGATION CONTROLLER AND BACKFLOW PREVENTER
- OR AS APPROVED BY THE CITY DEPARTMENT RESPONSIBLE FOR MAINTENANCE. 19. THE IRRIGATION CONTROLLER, BACKFLOW PREVENTER, AND RELATED EQUIPMENT SHALL BE LOCATED
- ADJACENT TO THE DESIGNATED MAINTENANCE PARKING PAD ON THE SIDE OF ONCOMING TRAFFIC.
- 20. MAIN LINE AND LATERAL LINES SHALL BE LOCATED A MINIMUM OF 5 FEET AWAY FROM TRUNKS OF TREES. 21. ONE BUBBLER SHALL BE INSTALLED AT EACH GROUNDING ROD AT THE IRRIGATION CONTROLLER.

- EDGE RESTRAINT BETWEEN PLANTING BEDS AND SEEDING AREAS SHALL BE BLACK COMMERCIAL

1. THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES THE CONTRACTOR SHALL TAKE OUT ALL REQUIRED PERMITS, ARRANGE FOR ALL NECESSARY

INSPECTION, AND PAY ANY FEES AND EXPENSES IN CONJUNCTION WITH THE SAME AS PART OF THE

ALL WORK AND MATERIALS TO BE IN FULL ACCORDANCE WITH LATEST RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY, THE UNIFORM PLUMBING CODE, NATIONAL ELECTRIC CODE, AMERICANS WITH DISABILITIES, AND OTHER APPLICABLE LAWS OR REGULATION. NOTHING IN THESE DRAWINGS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT

FURNISH, WITHOUT EXTRA CHARGE, ANY ADDITIONAL MATERIAL AND LABOR AS REQUIRED TO COMPLY WITH THESE RULES AND REGULATIONS, THOUGH THE WORK IS NOT MENTIONED IN THESE PARTICULAR

BECOME ACQUAINTED WITH ALL SITE CONDITIONS. LOCATE EXISTING UTILITIES AND EQUIPMENT TO REMAIN. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE DRAWINGS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY ENGINEER. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR ANY AND ALL DAMAGE ARISING FROM OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT

2. TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING SITE CONDITIONS. REPAIR ANY DAMAGED ITEM TO ITS ORIGINAL CONDITION OR FURNISH AND INSTALL EQUIVALENT REPLACEMENT AT NO ADDITIONAL

SCHEDULE AND COORDINATE WORK WITH OTHER TRADES TO FACILITATE WORK AND AVOID CONFLICTS IN

REVIEW ENTIRE PLAN SET AND COORDINATE WITH OTHER TRADES AS REQUIRED BY SEQUENCE OF CONSTRUCTION TO ENSURE PROVISION OF MAINLINE AND ELECTRICAL CONDUIT STUB-OUTS AT ALL REQUIRED LOCATIONS.

THE IRRIGATION SYSTEM CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:

LANDSCAPE REQUIREMENTS

| SITE AREA(SF) | REQUIRED RATE | REQUIRED LANDSCAPE AREA(SF) | PROPOSED LANDSCAPE AREA(SF) |
|---------------------------------------|-----------------------|---------------------------------------|---------------------------------------|
| 437,408 | 0.15 | 65,611 | 73,012 |
| | | | • |
| REQUIRED LANDSCAPE AREA(SF) | REQUIRED RATE* | REQUIRED VEGETATIVE COVERAGE AREA(SF) | PROPOSED VEGETATIVE COVERAGE AREA(SF) |
| 65,611 | 0.75 | 49,208 | 73,012 |
| | | | |
| REQUIRED VEGETATIVE COVERAGE AREA(SF) | REQUIRED RATE** | REQUIRED GROUND-LEVEL PLANTS AREA(SF) | PROPOSED GROUND-LEVEL PLANTS AREA(SF |
| 49,208 | 0.25 | 12,302 | 12,712 |
| | | | |
| PROPOSED TREE SPECIES | QUANTITY | WATER USE | |
| DESERT WILLOW | 2 | LOW TO MEDIUM | |
| HONEY MESQUITE | 12 | LOW | |
| GRAY OAK | 22 | LOW TO MEDIUM | |
| MEXICAN ELDER | 11 | LOW TO MEDIUM | |
| LACEBARK ELM | 20 | LOW TO MEDIUM | |
| TOTAL | 67 | 60,300 SF | |
| | | | |
| PROPOSED SHRUBS SPECIES | QUANTITY | WATER USE | |
| CURLLEAF MOUNTAIN MAHOG | 16 | LOW | |
| APACHE PLUME | 352 | LOW | |
| PINELEAF PENSTEMON | 318 | LOW | |
| TOTAL | 670 | 6,908 SF | |
| | | | |
| PROPOSED GROUNDCOVER SPECIES | QUANTITY | WATER USE | |
| SUNDROPS | 738 | LOW | |
| DESERT BEARDTONGUE | 200 | LOW | |
| AUTUMN SAGE | 200 | LOW | |
| TOTAL | 1138 | 5804 SF | |

A minimum of 15 percent of the net lot area of each development shall contain landscaping

The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows.

 $^{*1.}$ Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured actual vegetation **2. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, gra.

5-6(C)(4) A minimum of 5 species must be used in the landscaped area

Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(4) Required Plant Materials and Site Amenities minimum of 5 spacios must be used in the landse

| 1. A minimum of 5 species must be used in the landscaped dred. |
|--|
| 2. Only trees and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirem |

| HIGHWAY40 STREET FRO | NTAGE (L.F.) | | 853 |
|--|-------------------|-----------------------|---|
| TREES REQUIRED: | 853 | / 25 L.F. = | 35 |
| | | | |
| EXISTING TREE SPECIES | TREE TAG | CALIPER | |
| - | - | - | |
| EXISTING STREET TREES PF | OVIDED : | | - |
| | | | |
| PROPOSED TREE SPECIES | QTY. | CALIPER | |
| HONEY MESQUITE | 12 | 2" | |
| MEXICAN ELDER | 11 | 2" | |
| GRAY OAK | 12 | 2" | |
| PROPOSED STREET TREES | | | 35 |
| TOTAL STREET TREES PRO | VIDED : | | 35 |
| | | () | |
| DAYTONA RD. NW STREE | 1 | | 730 |
| TREES REQUIRED: | 730 | / 25 L.F. = | 30 |
| EXISTING TREE SPECIES | TREE TAG | CALIPER | |
| _ | _ | _ | |
| EXISTING STREET TREES PF | NOVIDED : | | - |
| | | | |
| PROPOSED TREE SPECIES | QTY. | CALIPER | |
| LACEBARK ELM | 20 | 2" | |
| GRAY OAK | 10 | 2" | |
| PROPOSED STREET TREES | PROVIDED : | | 30 |
| TOTAL STREET TREES PRO | VIDED : | | 30 |
| | | | |
| *All dayalanmant shall comply | with Part 6-6-2 | of ROA 1994 (Street | Trees) and any standards developed by the Parks |
| An development shun compry | r other City den | artment to impleme | nt that Ordinance. Trees are generally required |
| • • • • • | i otner city dep. | | |
| and Recreation Department o | , , | unless specified othe | rwise in Part 6-6-2 of ROA 1994 (Street Trees). |
| and Recreation Department o along street frontages every 2. | 5 feet on center | | rwise in Part 6-6-2 of ROA 1994 (Street Trees). re planted within 20 feet of the back of curb of |

| C. PARKING LOT LANDSCAPING: Part 14-16-5 Development Standards,5-6(F |
|--|
|--|

| PARKING LOT AREA(SF) | REQUIRED RATE* | REQUIRED LANDSCAPE ARE |
|-------------------------------|------------------------------|---------------------------|
| 8670 | 10% | 867 |
| | | |
| PARKING SPACES | REQUIREMENT** | TREE REQUIRED |
| 20 | 1 TREE PER 10 PARKING SPACES | 2 |
| | | |
| TREE SPECIES | QTY. | DECIDUOUS CANOPY SHADE TR |
| DESERT WILLOW | 2 | Y |
| PERCENTAGE OF DECIDUOUS CANOI | PY SHADE TREES PROVIDED | |
| | | |
| TREE REQUIRED FOR PARKING LOT | REQUIREMENT*** | REQUIRED PLANTING ARE |
| 2 | 60 SF PER TREE | 120 |
| | | |

| PARKING LOT AREA(SF) | REQUIRED RATE* | REQUIRED LANDSCAPE AREA(SF) | PROPOSED LANDSCAPE AREA(SF) |
|--|--|---|--|
| 8670 | 10% | 867 | 1800 |
| 8070 | 10/0 | | 1000 |
| PARKING SPACES | REQUIREMENT** | TREE REQUIRED | TREE PROVIDED |
| 20 | 1 TREE PER 10 PARKING SPACES | 2 | 2 |
| | | | |
| TREE SPECIES | QTY. | DECIDUOUS CANOPY SHADE TREES(Y/N) | PRECENTAGE** |
| DESERT WILLOW | 2 | Y | 100% |
| PERCENTAGE OF DECIDUOUS CANOF | PY SHADE TREES PROVIDED | | 100% |
| TREE REQUIRED FOR PARKING LOT | REQUIREMENT*** | REQUIRED PLANTING AREA(SF) | PROPOSED PLANTING AREA(SF) |
| 2 | 60 SF PER TREE | 120 | 120 |
| least 10 percent of the parking lot area of ndscaped. 5-6(F)(2)(c) Tree Requirements 2. One (1) tree is required per 10 parking s 2. No parking space may be more than 10 3. At least 75 percent of the required park | paces. 10 feet in any direction from a tree trunk ing area trees shall be deciduous canop | d at least 15 percent of the parking lot area of lots y-type shade trees, capable of achieving a mature | |
| andscaped. **5-6(F)(2)(c) Tree Requirements 1. One (1) tree is required per 10 parking s 2. No parking space may be more than 10 3. At least 75 percent of the required park ***5-6(F)(2)(d) Location and Dimension of The minimum size of tree planters within of provehicle circulation area abutting the tree | paces. 10 feet in any direction from a tree trunk ing area trees shall be deciduous canop Landscaped Areas E-street parking areas shall be 60 square e planter is of a permeable material and | r. y-type shade trees, capable of achieving a mature feet per tree. This requirement may be reduced to , combined with the tree planter area, meets the 6 | canopy diameter of at least 25 feet. 36 square feet if the surface of a parking |
| At least 10 percent of the parking lot area of andscaped. **5-6(F)(2)(c) Tree Requirements 1. One (1) tree is required per 10 parking s 2. No parking space may be more than 10 3. At least 75 percent of the required park ***5-6(F)(2)(d) Location and Dimension of The minimum size of tree planters within of | paces. 10 feet in any direction from a tree trunk ing area trees shall be deciduous canop Landscaped Areas E-street parking areas shall be 60 square e planter is of a permeable material and | r. y-type shade trees, capable of achieving a mature feet per tree. This requirement may be reduced to , combined with the tree planter area, meets the 6 | canopy diameter of at least 25 feet. 36 square feet if the surface of a parking |
| At least 10 percent of the parking lot area of andscaped. **5-6(F)(2)(c) Tree Requirements 1. One (1) tree is required per 10 parking s 2. No parking space may be more than 10 3. At least 75 percent of the required park ***5-6(F)(2)(d) Location and Dimension of The minimum size of tree planters within of per vehicle circulation area abutting the tree C. PARKING LOT LANDSCAPING: | paces. 10 feet in any direction from a tree trunk ing area trees shall be deciduous canop Landscaped Areas E-street parking areas shall be 60 square e planter is of a permeable material and | r. y-type shade trees, capable of achieving a mature feet per tree. This requirement may be reduced to , combined with the tree planter area, meets the 6 andards,5-6(F) | canopy diameter of at least 25 feet. 36 square feet if the surface of a parking |
| At least 10 percent of the parking lot area of andscaped. (**5-6(F)(2)(c) Tree Requirements 1. One (1) tree is required per 10 parking s 2. No parking space may be more than 10 3. At least 75 percent of the required park (***5-6(F)(2)(d) Location and Dimension of the minimum size of tree planters within of por vehicle circulation area abutting the tree C. PARKING LOT LANDSCAPING: SCREENING | paces. 10 feet in any direction from a tree trunk ing area trees shall be deciduous canop Landscaped Areas E-street parking areas shall be 60 square e planter is of a permeable material and Part 14-16-5 Development Sta | : y-type shade trees, capable of achieving a mature feet per tree. This requirement may be reduced to combined with the tree planter area, meets the 6 andards,5-6(F) SCREENII | canopy diameter of at least 25 feet. 36 square feet if the surface of a parking 60 square foot per tree requirement. |

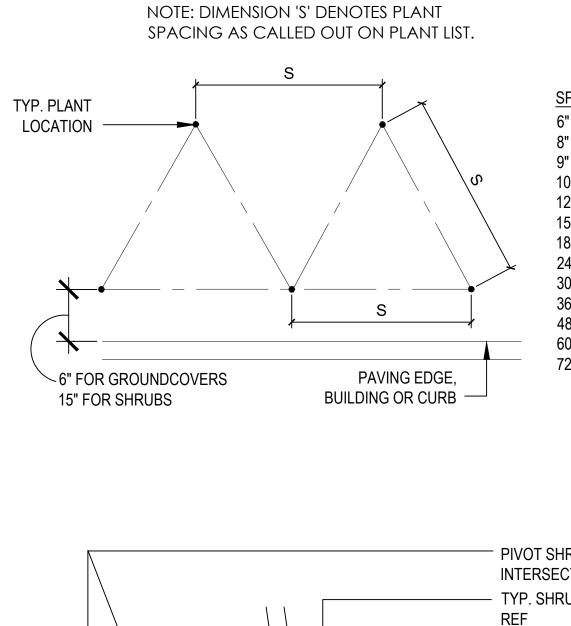
| d by canopy width or the ar | ea beneath the dripline of the mature size of the |
|-------------------------------|--|
| asses, etc.) as measured of t | he mature size of the actual vegetation. (See figure |
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| | OPPIDAN builder of towns. creator of value. | | | | | | | | |
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| DATE: | 01/08/2024 | 03/08/2024 | 03/20/2024 | | | | | | |
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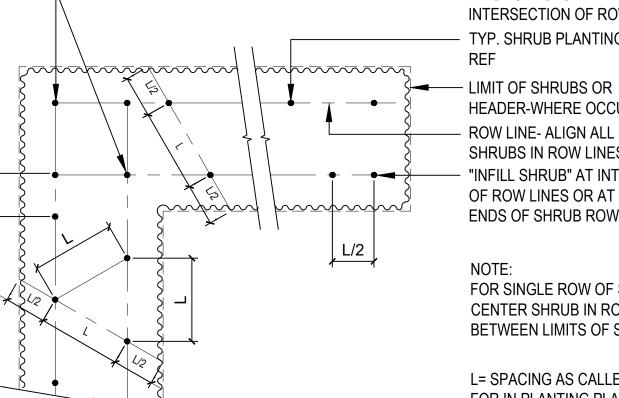


733 MARQUETTE AVE SUITE 1000 MINNEAPOLIS, MN 55402 WWW.STANTEC.COM

CLIENT:



PLANTS / SF SPACING 6" O.C. 4.61 8" O.C. 2.60 9" O.C. 1.78 10" O.C. 1.66 12" O.C. 1.15 15" O.C. .738 18" O.C. .50 24" O.C. .28 30" O.C. .18 36" O.C. .12 48" O.C. .07 60" O.C. .04 72" 0.C. .03



6 DETAIL: PLANT SPACING CHART

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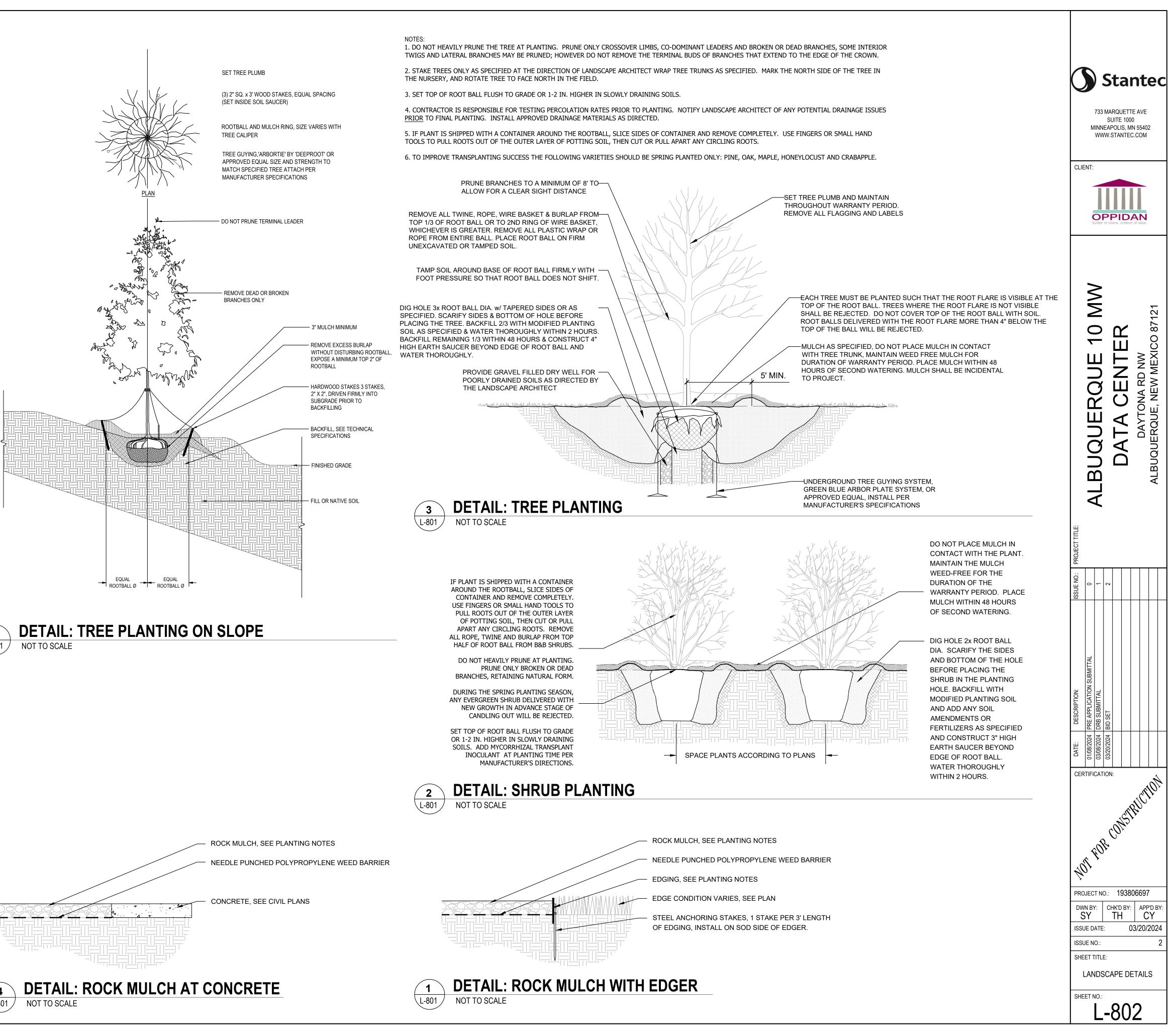
PIVOT SHRUBS AT INTERSECTION OF ROW LINES TYP. SHRUB PLANTING;

HEADER-WHERE OCCURS ROW LINE- ALIGN ALL SHRUBS IN ROW LINES "INFILL SHRUB" AT INTERSECTION OF ROW LINES OR AT ENDS OF SHRUB ROW

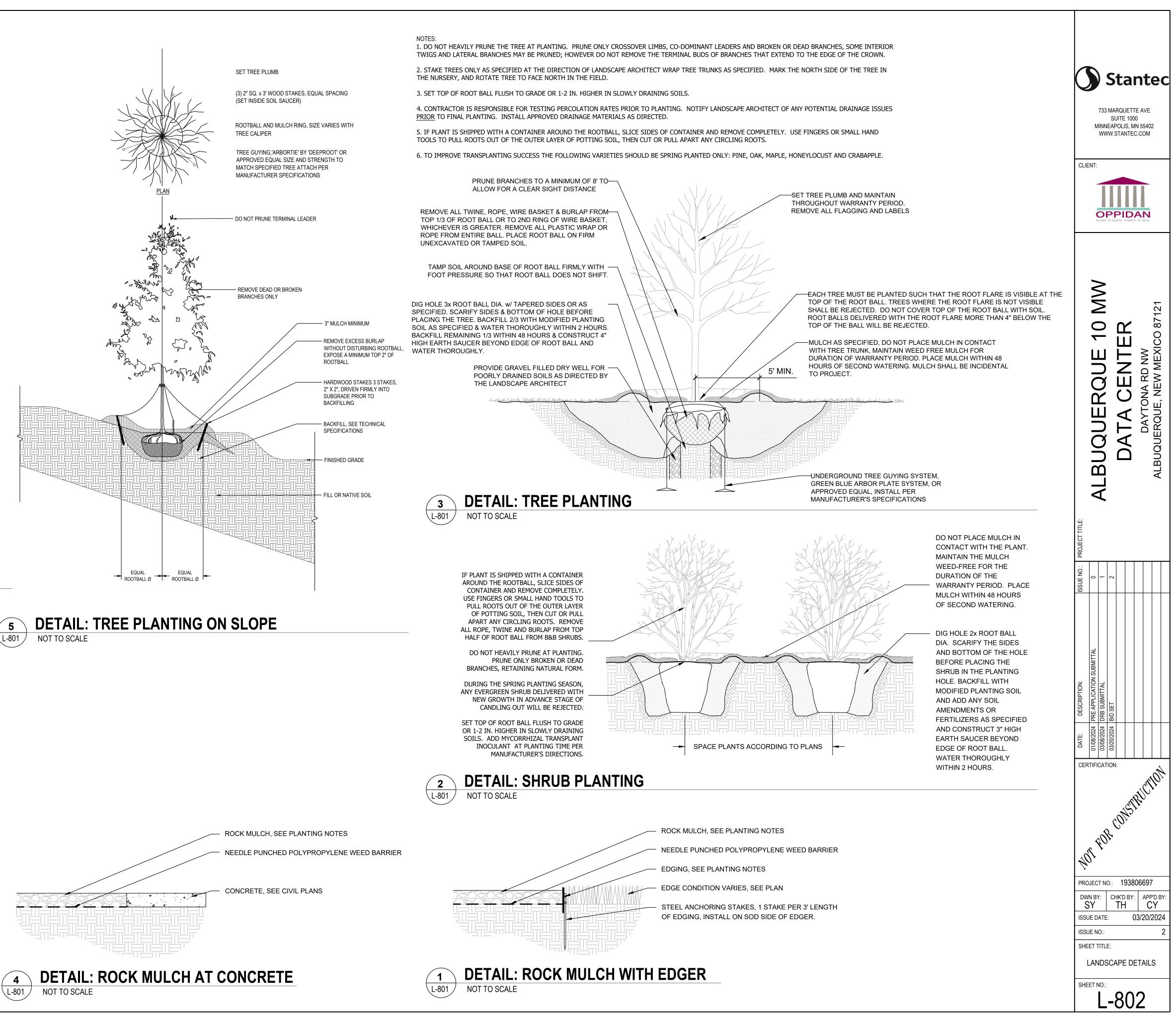
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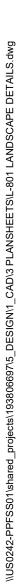
FOR SINGLE ROW OF SHRUBS CENTER SHRUB IN ROW LINE BETWEEN LIMITS OF SHRUBS

L= SPACING AS CALLED FOR IN PLANTING PLAN

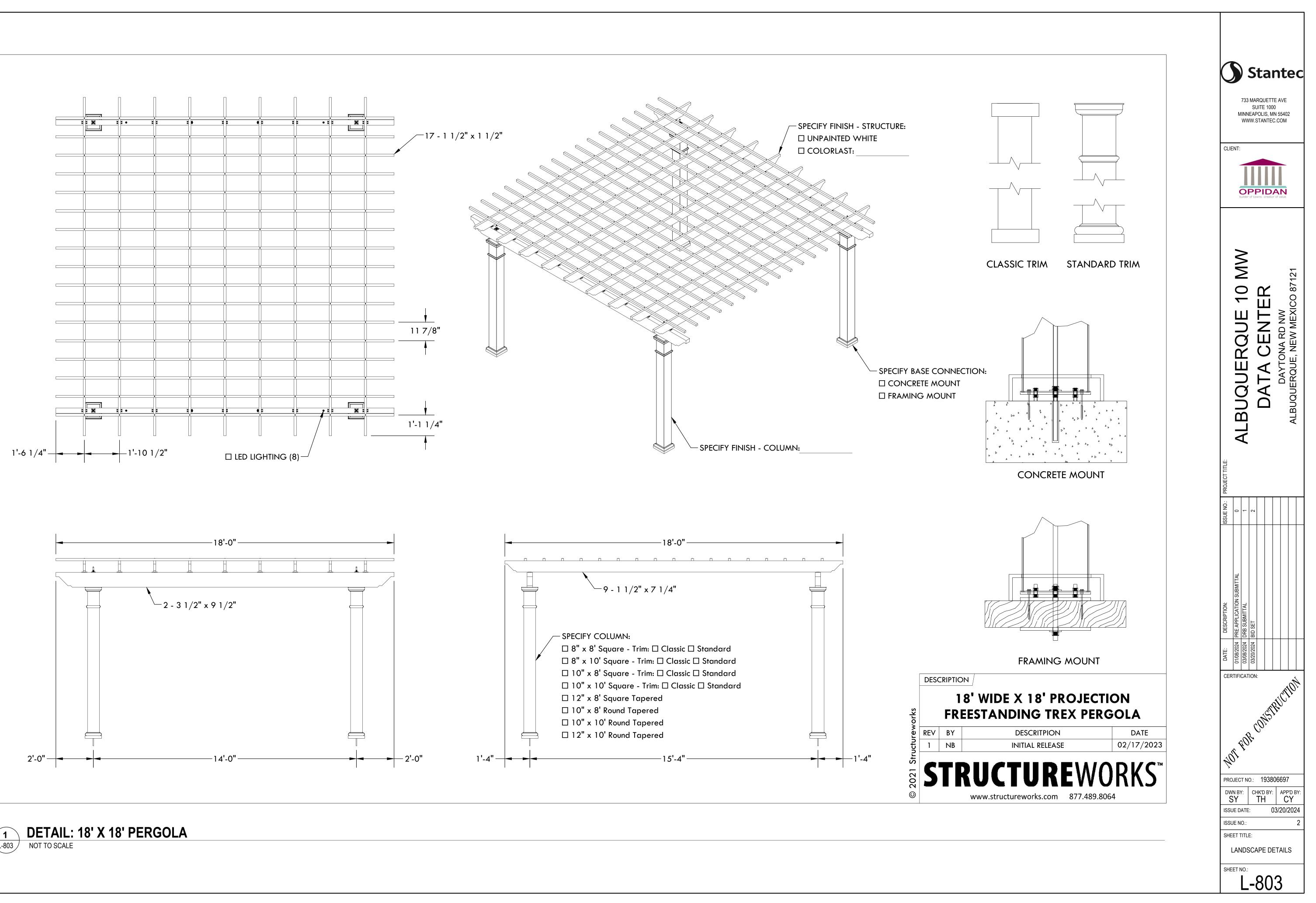


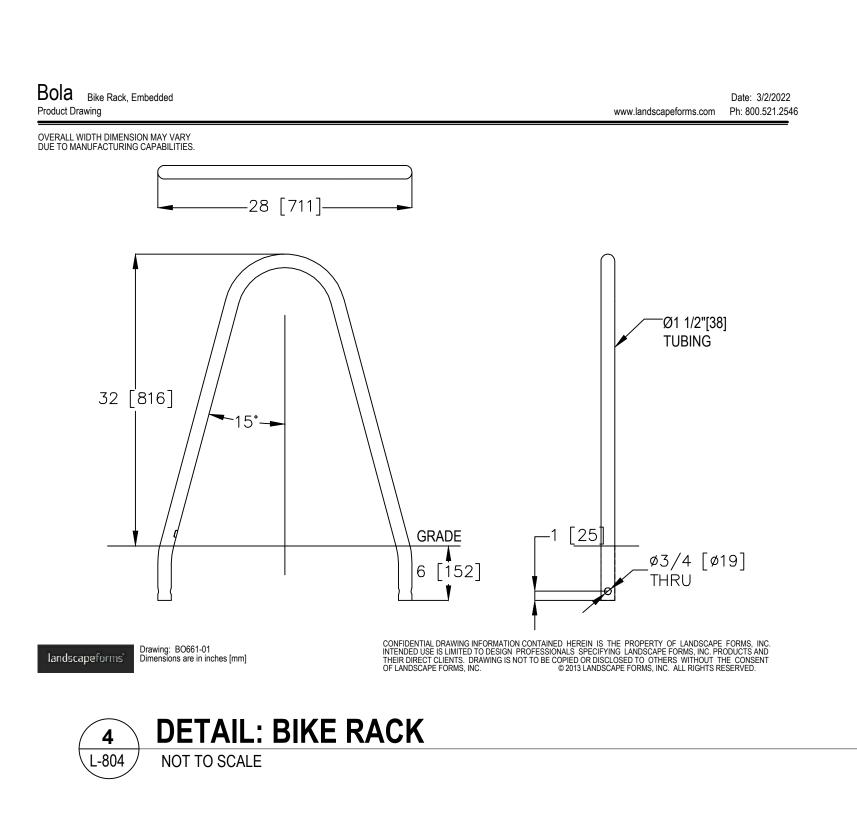
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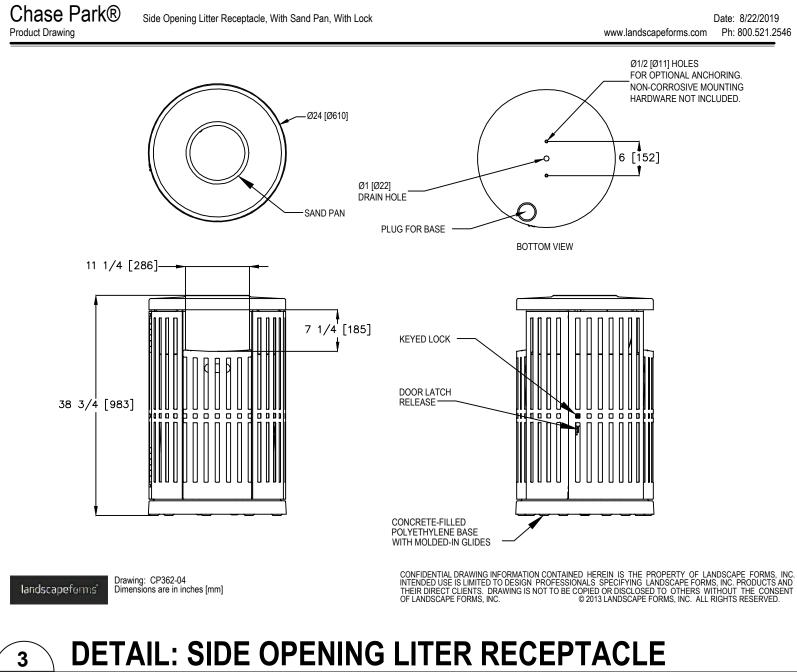






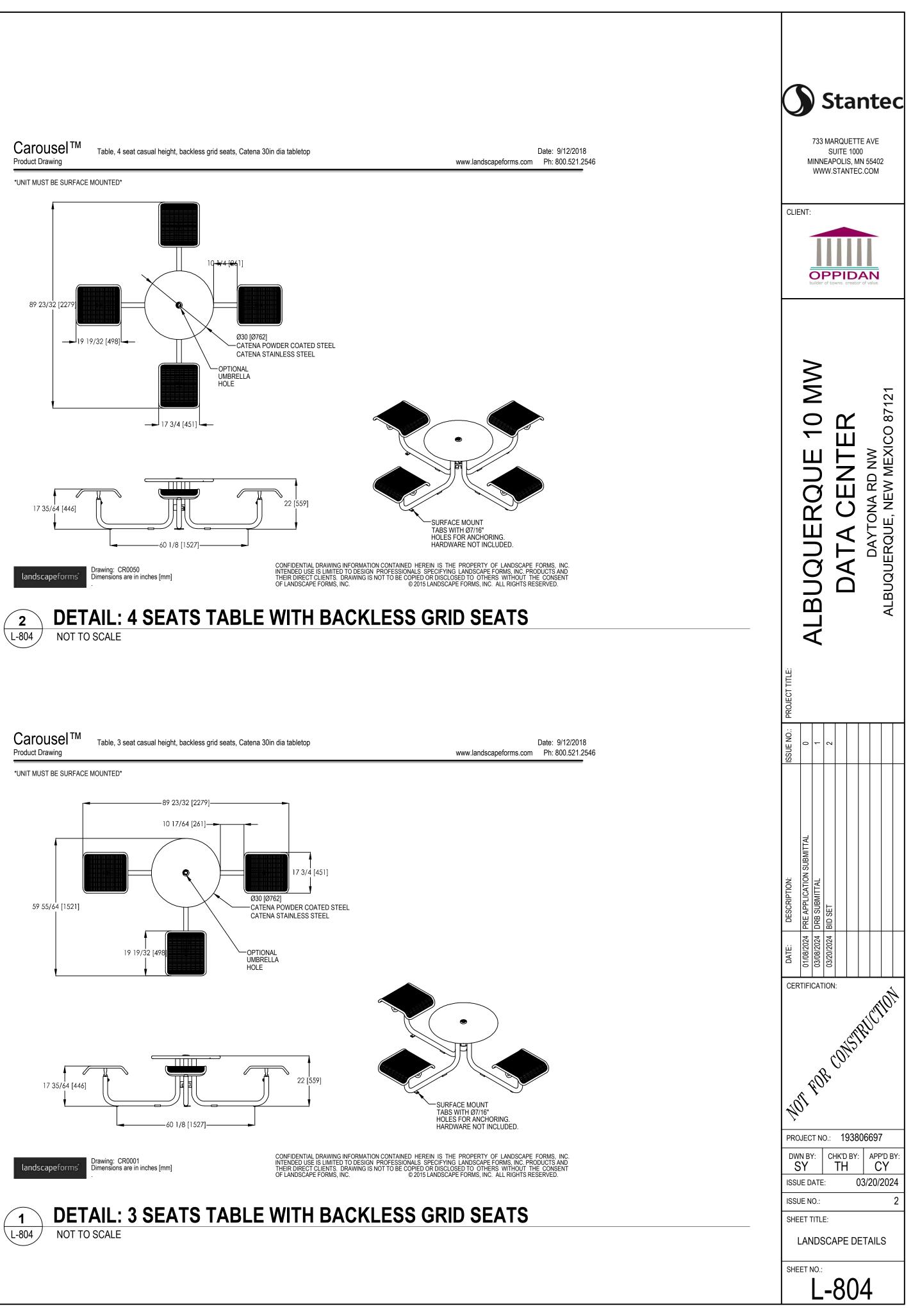


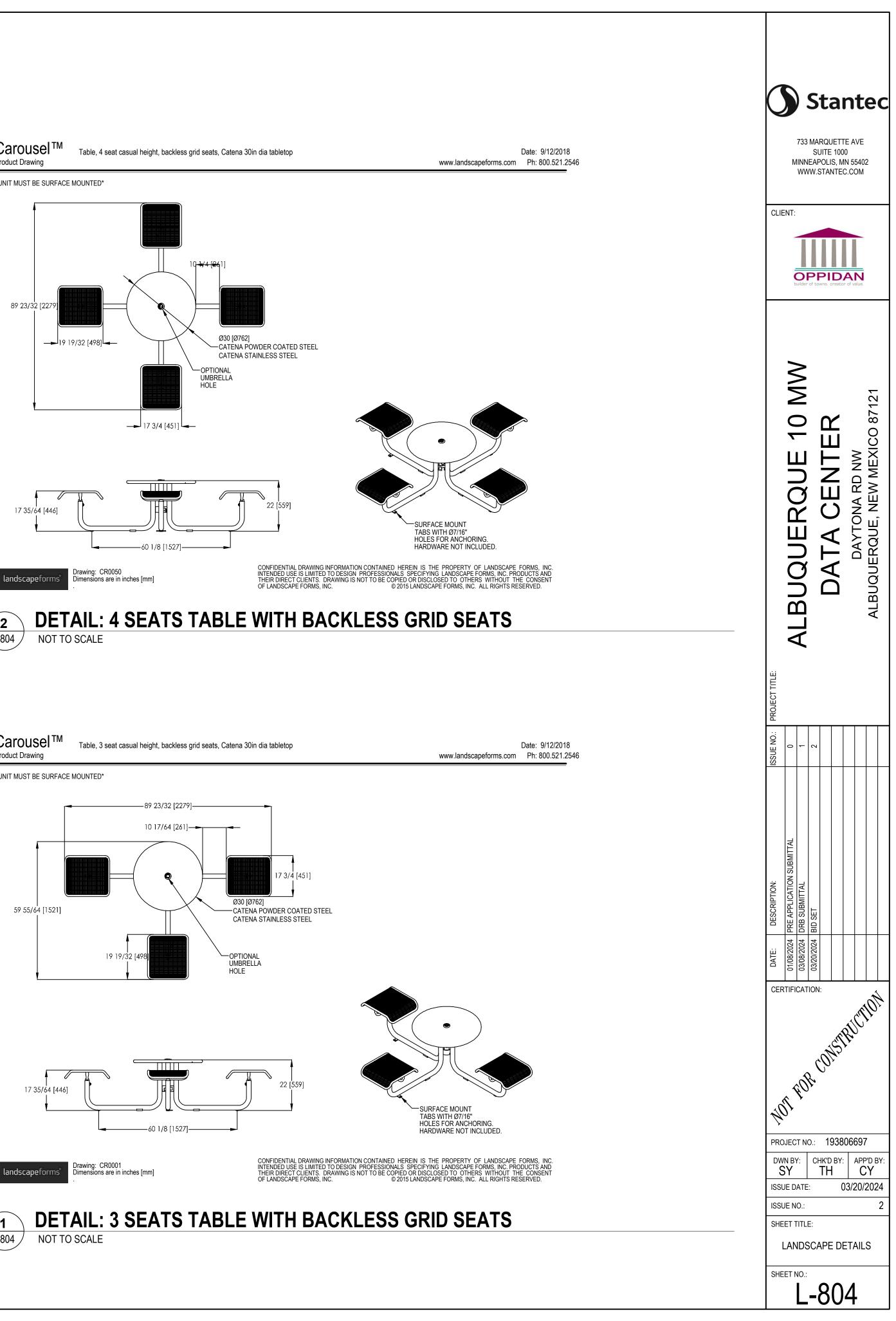


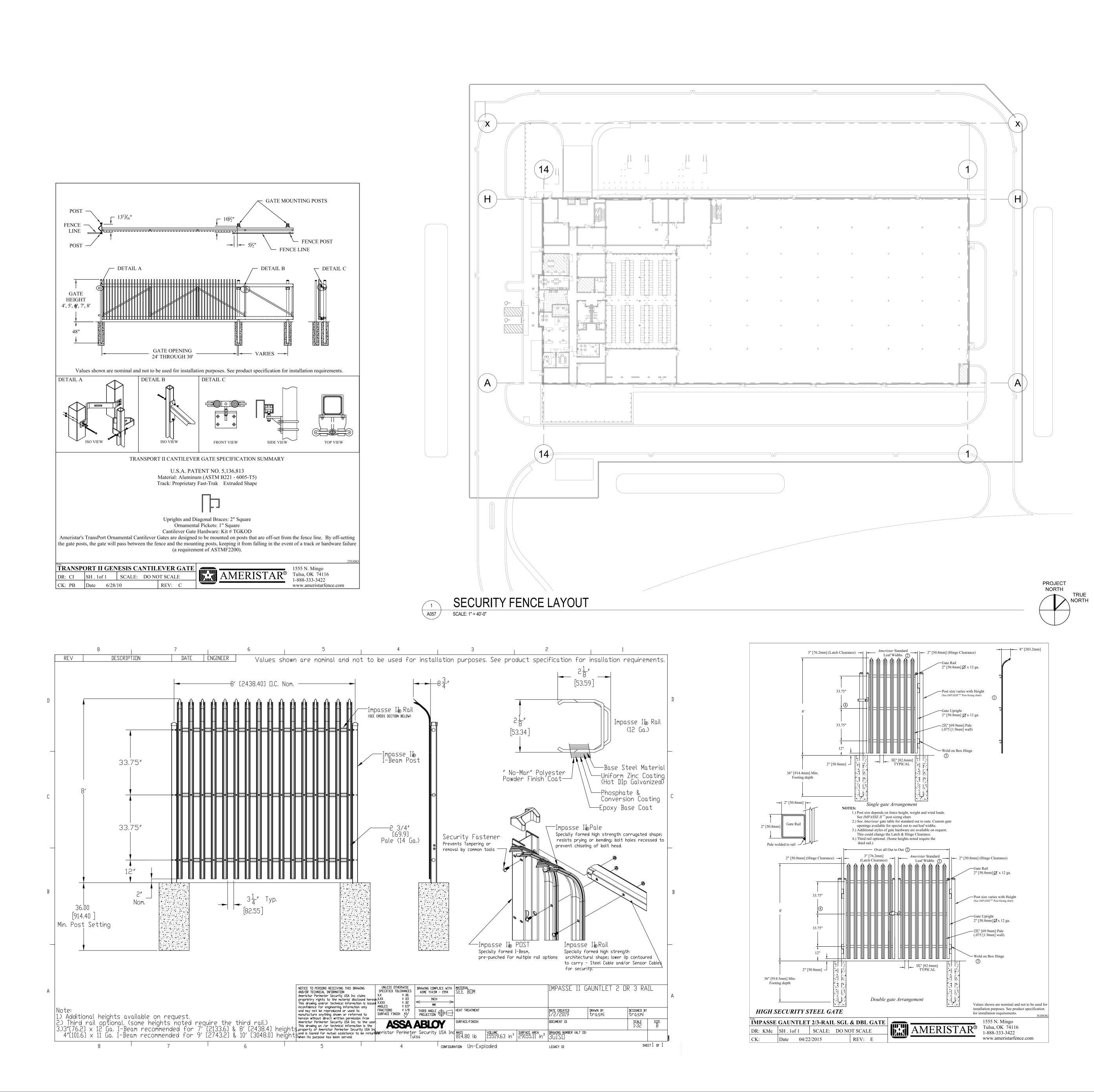


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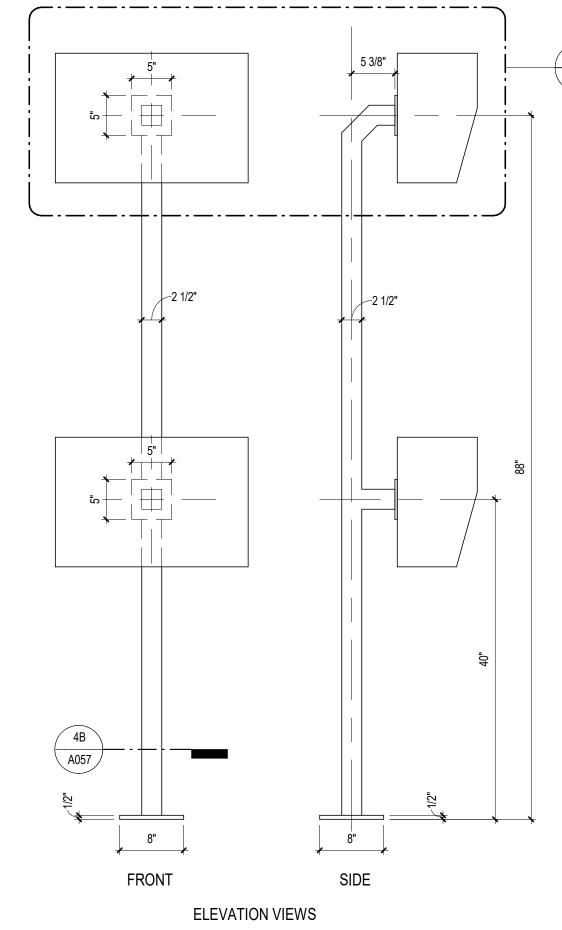
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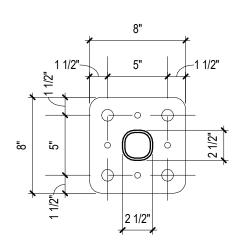
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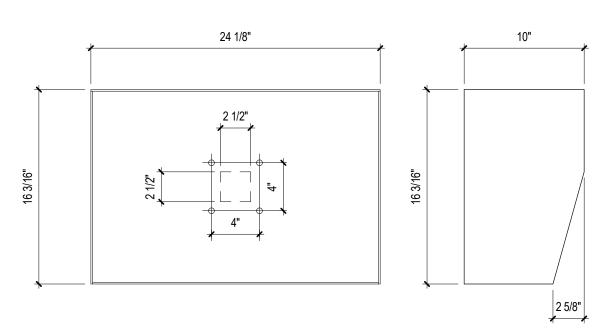
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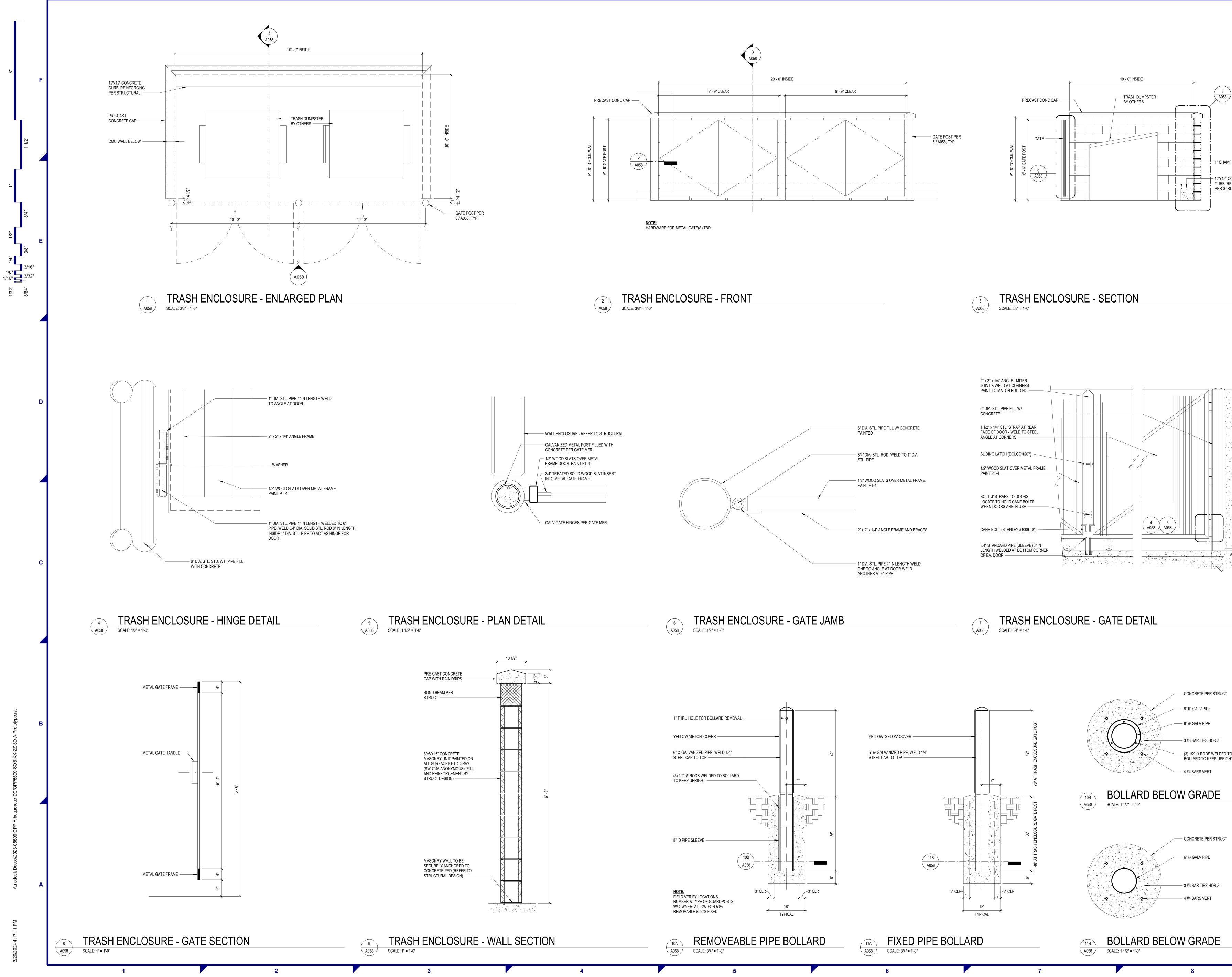


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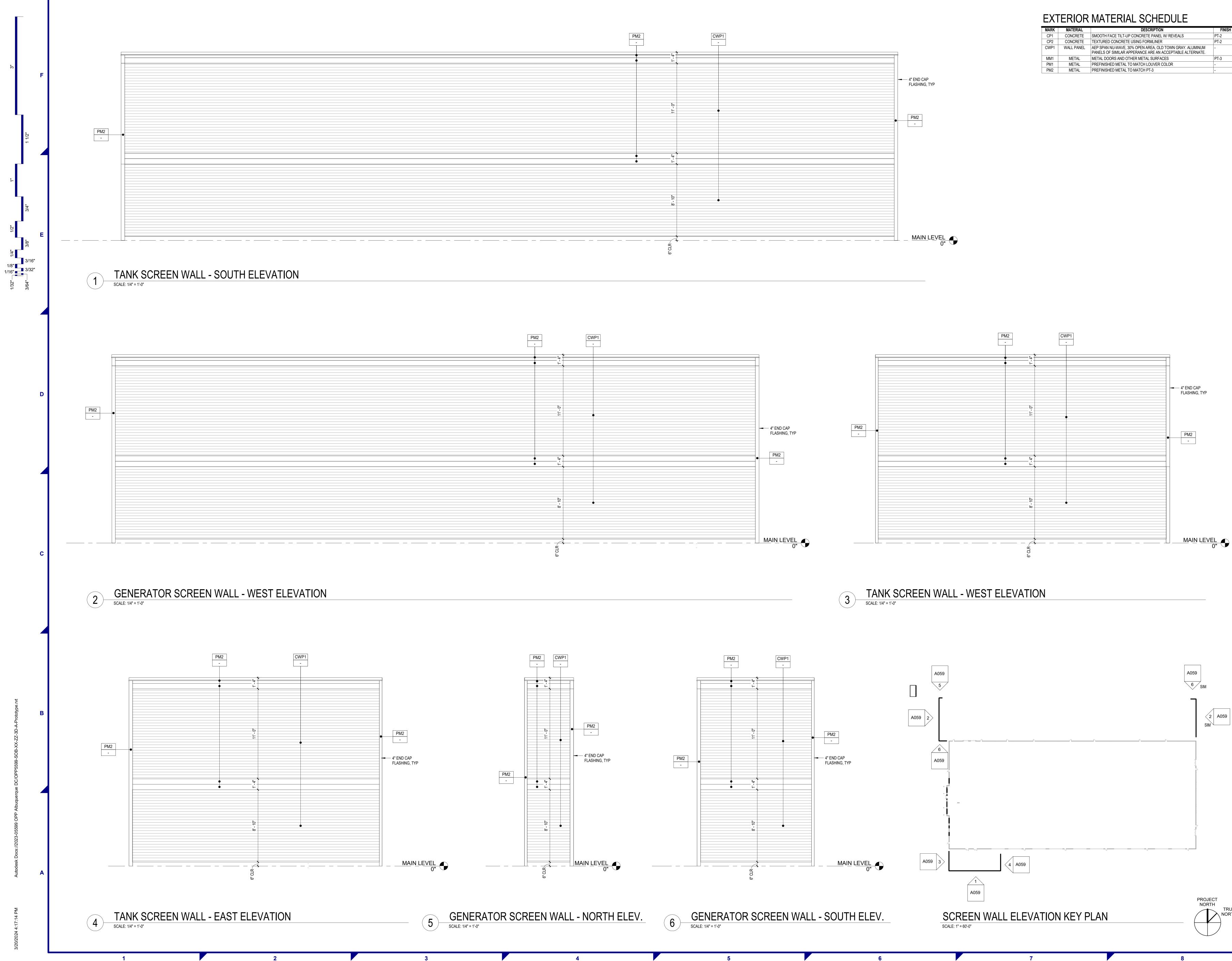


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| salasobrien.com p. 877.725.2755 KDW Salas O'Brien, LLC 10202 5th Avenue NE Seattle, WA 98125 |
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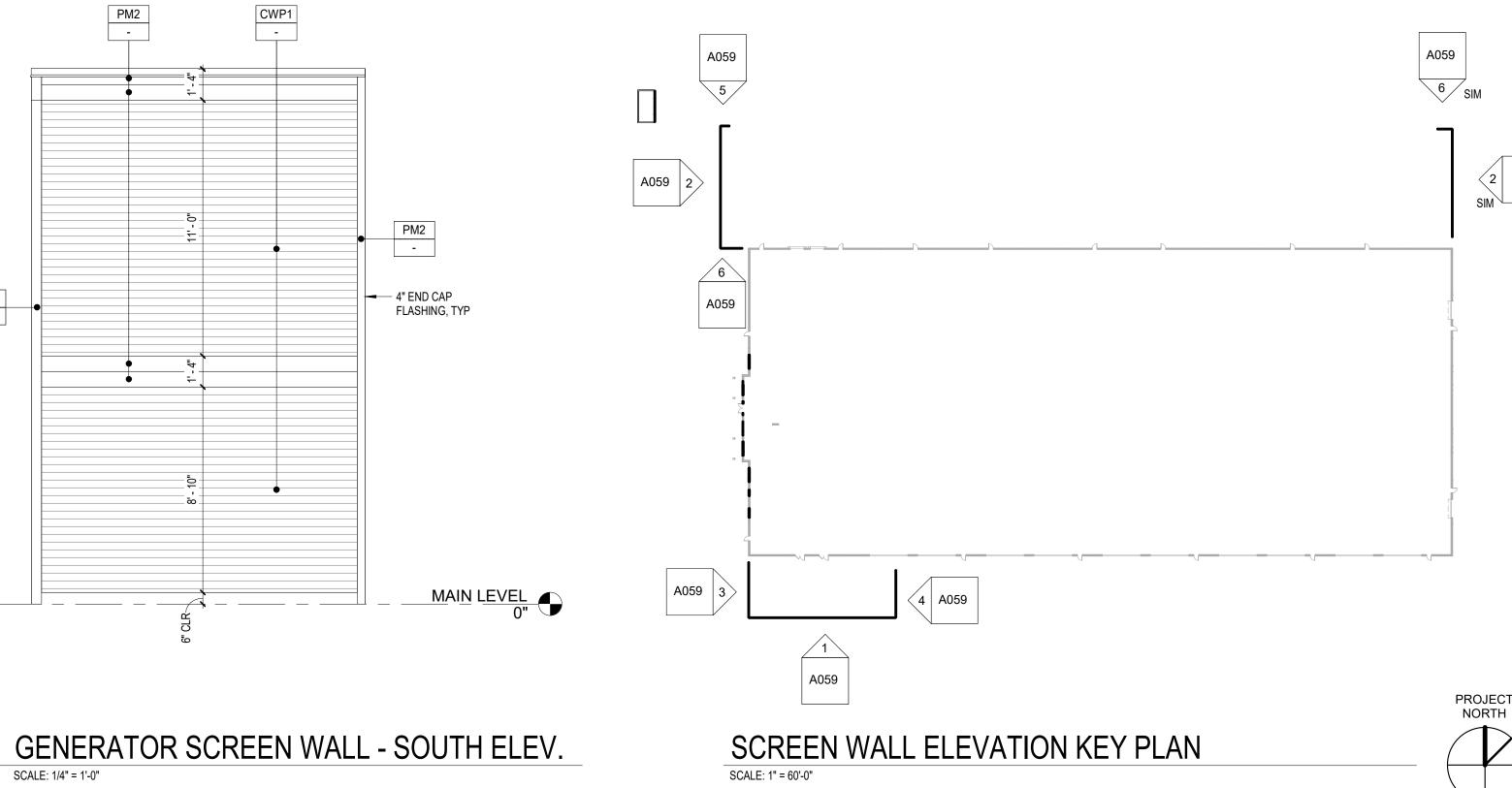




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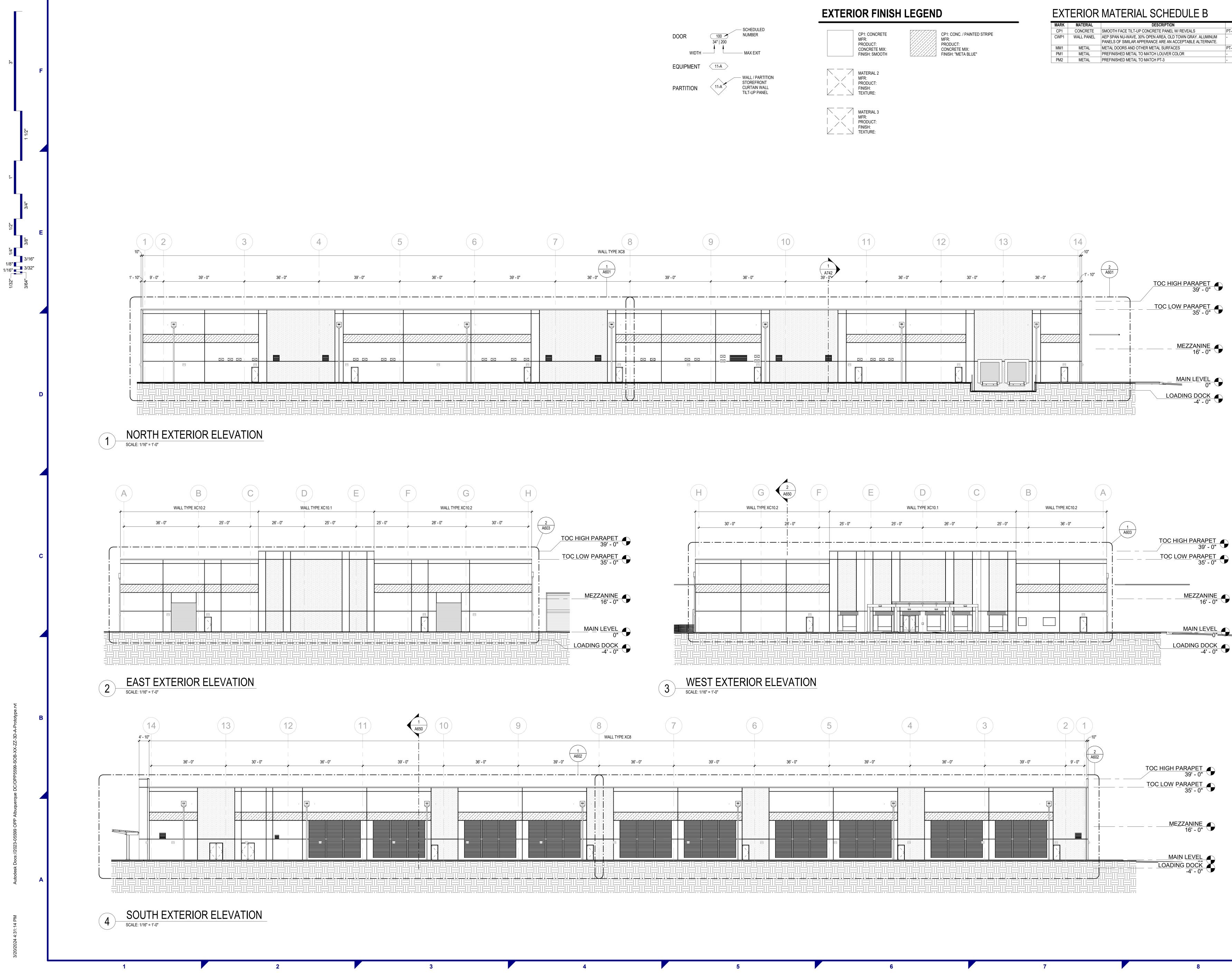


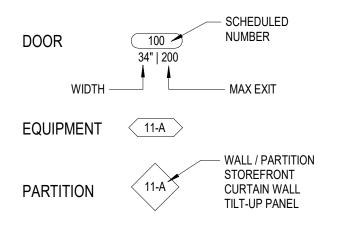




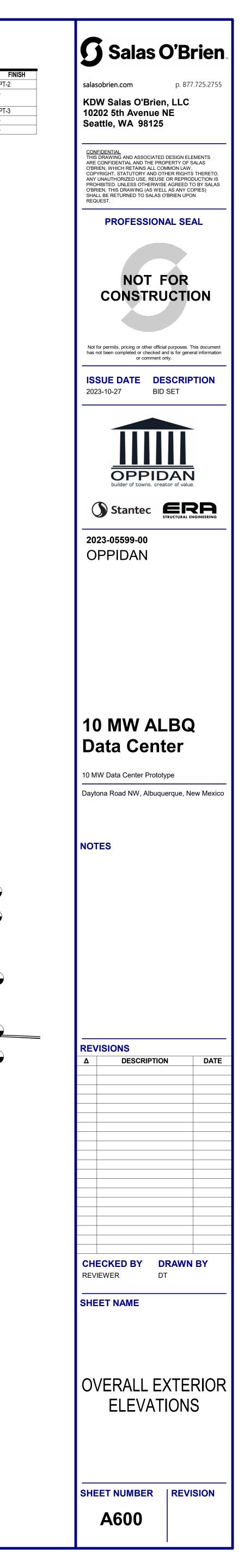
| MARK | MATERIAL | DESCRIPTION | |
|------|------------|---|---|
| CP1 | CONCRETE | SMOOTH FACE TILT-UP CONCRETE PANEL W/ REVEALS | F |
| CP2 | CONCRETE | TEXTURED CONCRETE USING FORMLINER | F |
| CWP1 | WALL PANEL | AEP SPAN NU-WAVE, 30% OPEN AREA, OLD TOWN GRAY. ALUMINUM PANELS OF SIMILAR APPERANCE ARE AN ACCEPTABLE ALTERNATE. | - |
| MM1 | METAL | METAL DOORS AND OTHER METAL SURFACES | F |
| PM1 | METAL | PREFINISHED METAL TO MATCH LOUVER COLOR | - |
| PM2 | METAL | PREFINISHED METAL TO MATCH PT-3 | - |

| IISH | 9 Salas O'Brien. |
|------|---|
| | salasobrien.com p. 877.725.2755 KDW Salas O'Brien, LLC 10202 5th Avenue NE Seattle, WA 98125 |
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| | 10 MW ALBQ Data Center |
| | 10 MW Data Center Prototype |
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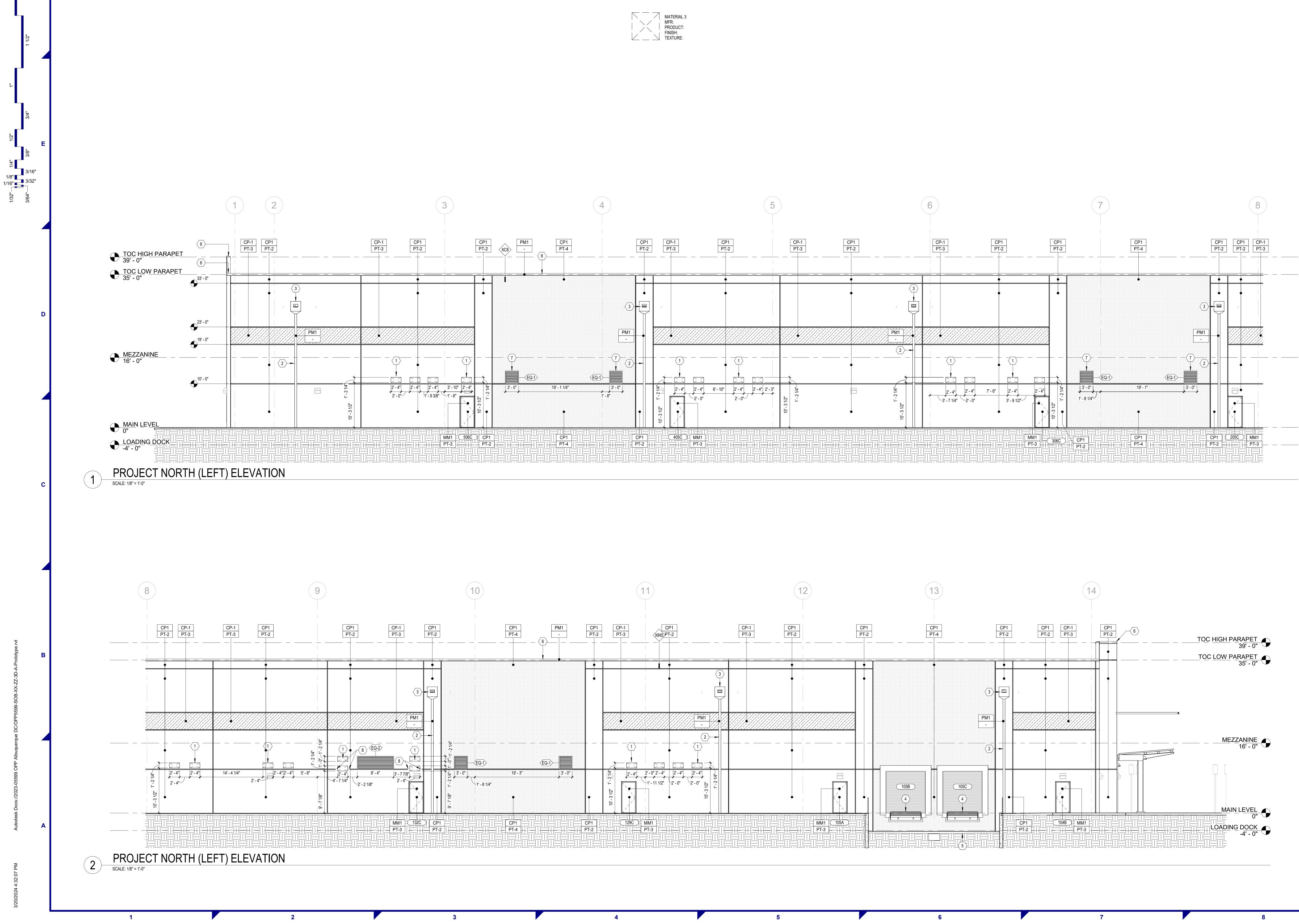


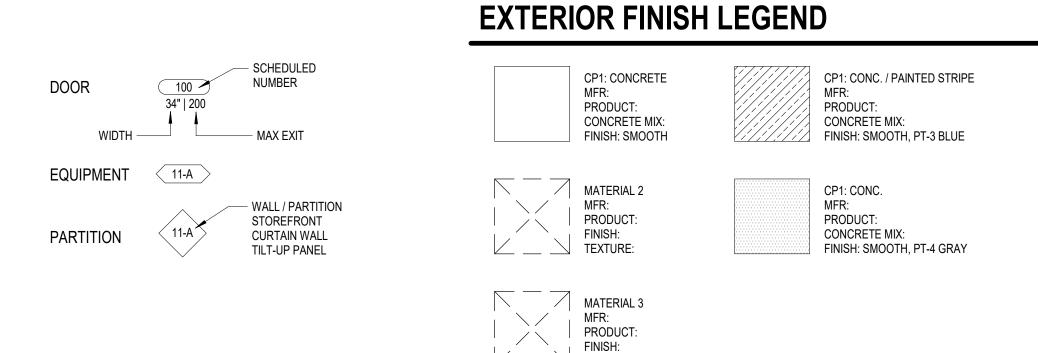


| ARK | MATERIAL | DESCRIPTION | |
|-----|------------|---|-----|
| CP1 | CONCRETE | SMOOTH FACE TILT-UP CONCRETE PANEL W/ REVEALS | PT- |
| WP1 | WALL PANEL | AEP SPAN NU-WAVE, 30% OPEN AREA, OLD TOWN GRAY. ALUMINUM PANELS OF SIMILAR APPERANCE ARE AN ACCEPTABLE ALTERNATE. | - |
| 1M1 | METAL | METAL DOORS AND OTHER METAL SURFACES | PT- |
| PM1 | METAL | PREFINISHED METAL TO MATCH LOUVER COLOR | - |
| | | | |







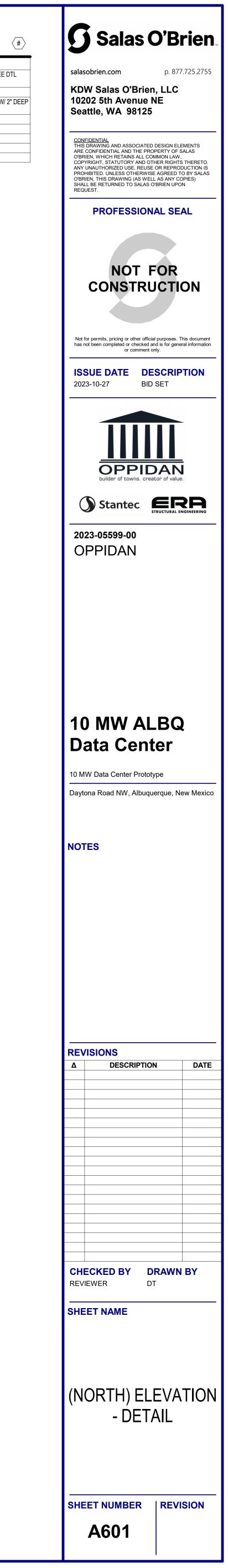


EXTERIOR MATERIAL SCHEDULE B

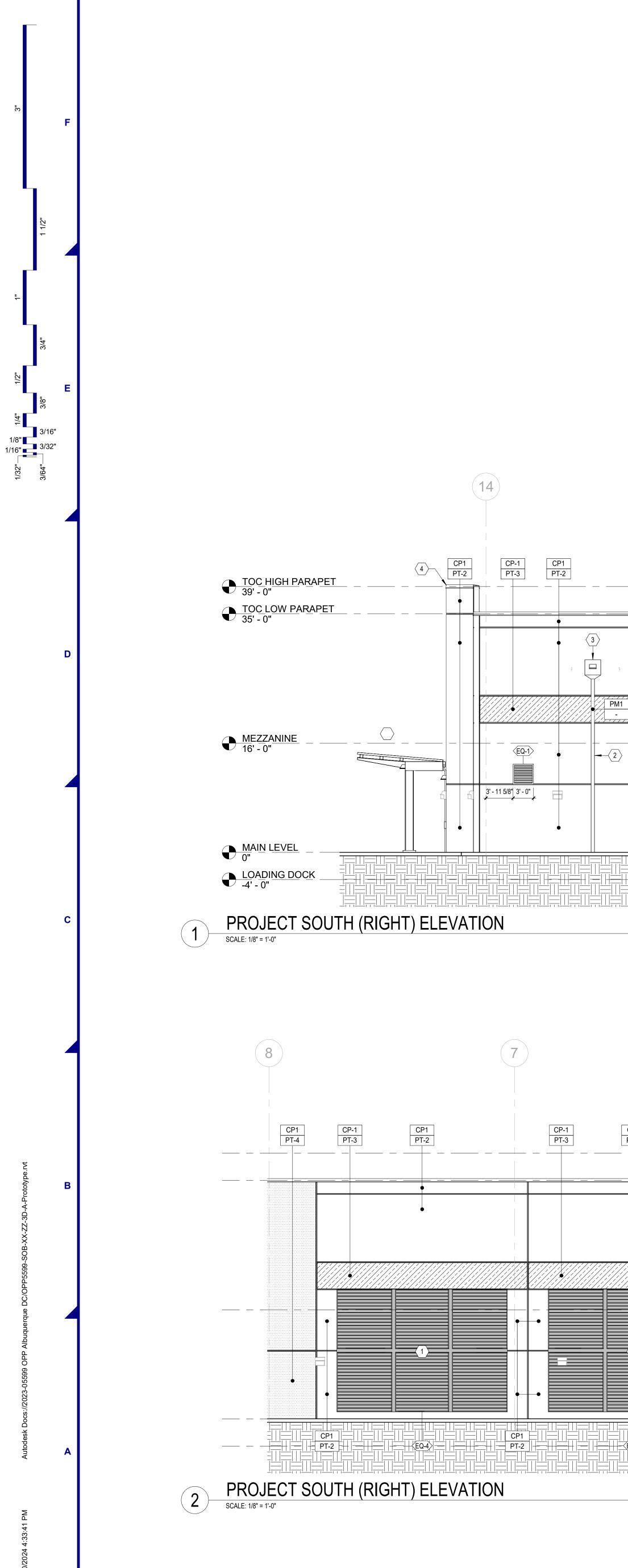
| MARK | MATERIAL | DESCRIPTION | FINISH |
|------|------------|---|--------|
| CP1 | CONCRETE | SMOOTH FACE TILT-UP CONCRETE PANEL W/ REVEALS | PT-2 |
| CWP1 | WALL PANEL | AEP SPAN NU-WAVE, 30% OPEN AREA, OLD TOWN GRAY. ALUMINUM PANELS OF SIMILAR APPERANCE ARE AN ACCEPTABLE ALTERNATE. | - |
| MM1 | METAL | METAL DOORS AND OTHER METAL SURFACES | PT-3 |
| PM1 | METAL | PREFINISHED METAL TO MATCH LOUVER COLOR | - |
| PM2 | METAL | PREFINISHED METAL TO MATCH PT-3 | - |

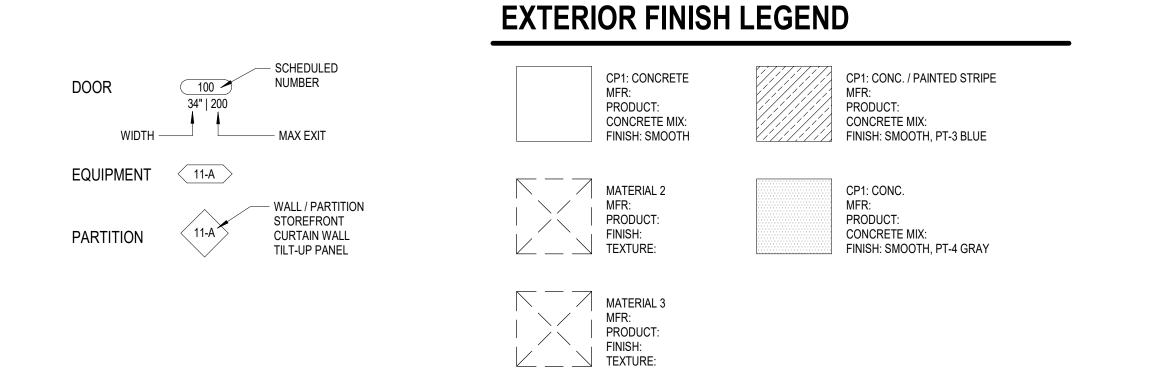
SHEET KEYNOTES

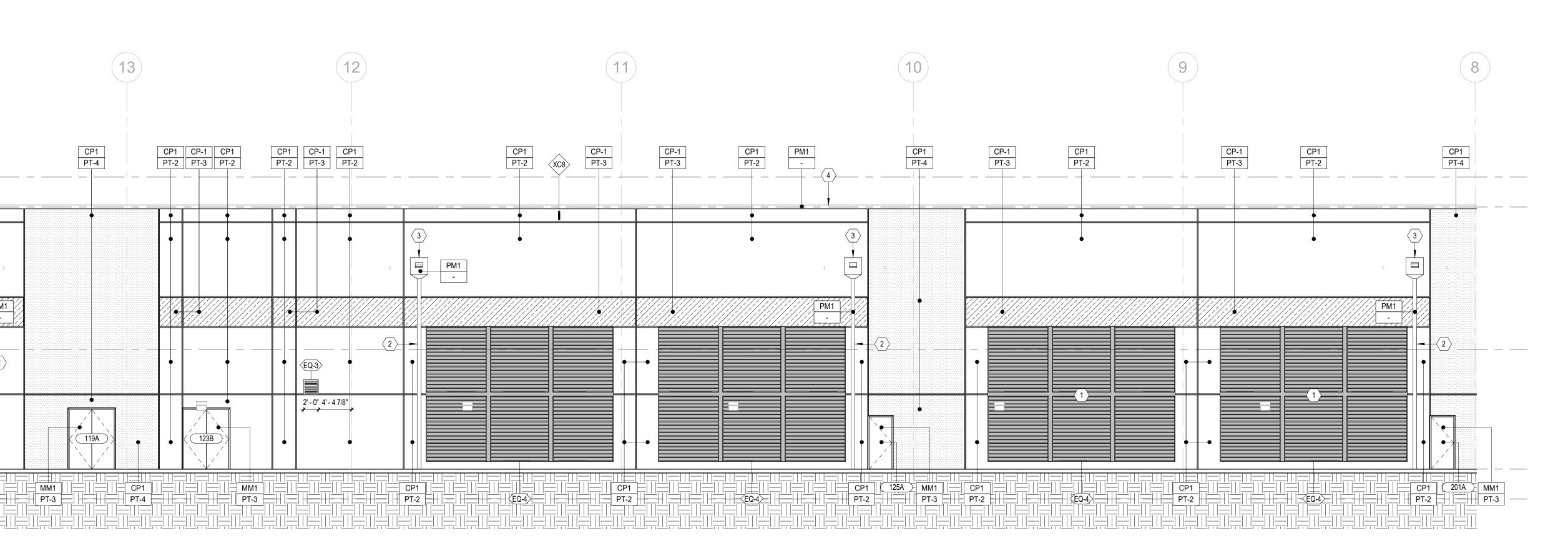
- DESCRIPTION KEY 1 RIGID INSULATION & SHEET METAL BLANKING PANEL IN OPENING FOR FUTURE ELECT EQUIP. SEE DTL 3/A711
- 2 DOWNSPOUT FROM ROOF TO TIGHTLINE, SEE CIVIL, SEE DETAIL 6/A720 3 THRU-WALL SCUPPER TO CONDUCTOR HEAD & DOWNSPOUT ON EXTERIOR FACE OF BULDING, W/ 2" DEEP
- x 24" DIAMETER SUMP ON ROOF, SEE DETAILS 14 & 15/A720 4 LOADING DOCK LEVELER & BUMPERS, SEE DETAILS 1 & 2/A056
- 5 LOADING DOCK RAMP, SEE CIVIL 6 STANDING SEAM COPING CAP ON PARAPET, SEE DETAILS 4 & 12/A720
- 7 RIGID INSULATION & SHEET METAL BLANKING PANEL BEHIND LOUVER. SEE DTL 6/A711 8 END CONCRETE REVEAL 6" FROM OPENING.

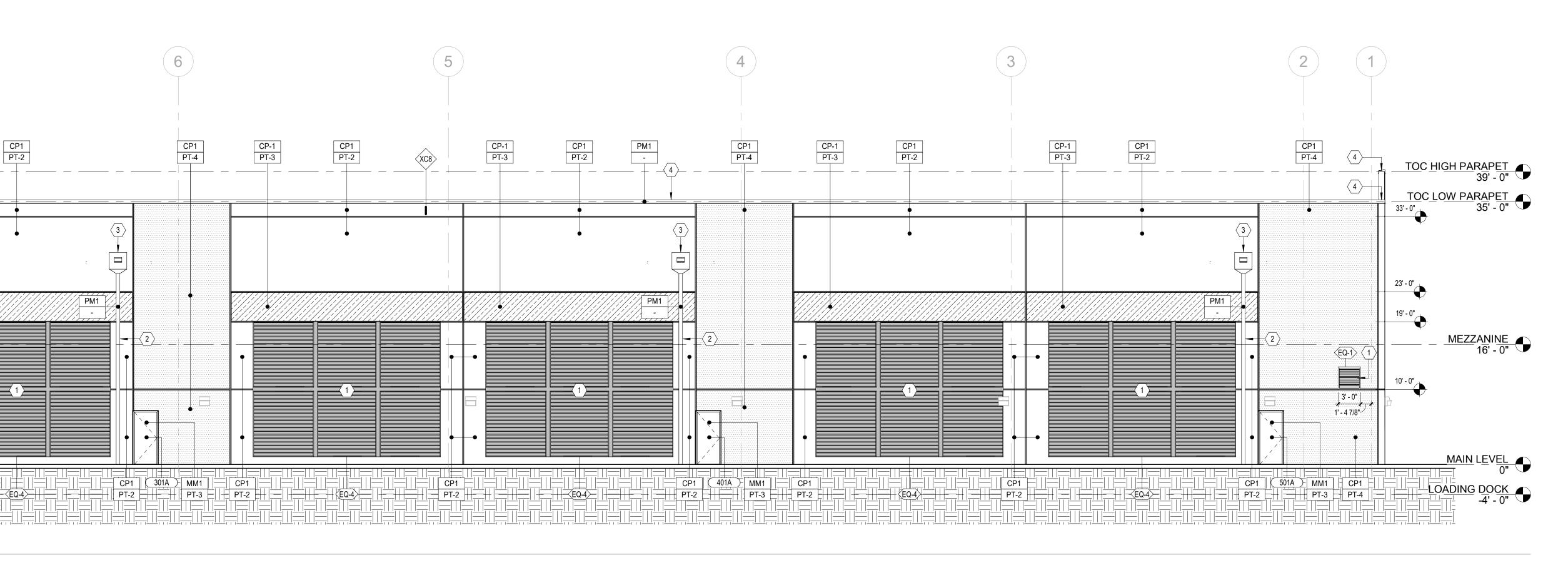












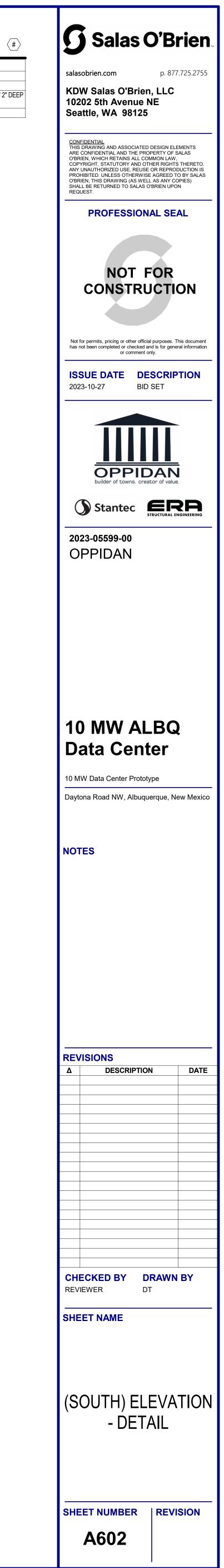
EXTERIOR MATERIAL SCHEDULE B

| MAR | K MATERIAL | DESCRIPTION | FINISH |
|-----|--------------|---|--------|
| CP1 | CONCRETE | SMOOTH FACE TILT-UP CONCRETE PANEL W/ REVEALS | PT-2 |
| CWP | 1 WALL PANEL | AEP SPAN NU-WAVE, 30% OPEN AREA, OLD TOWN GRAY. ALUMINUM PANELS OF SIMILAR APPERANCE ARE AN ACCEPTABLE ALTERNATE. | - |
| MM1 | METAL | METAL DOORS AND OTHER METAL SURFACES | PT-3 |
| PM1 | METAL | PREFINISHED METAL TO MATCH LOUVER COLOR | - |
| PM2 | METAL | PREFINISHED METAL TO MATCH PT-3 | - |

SHEET KEYNOTES

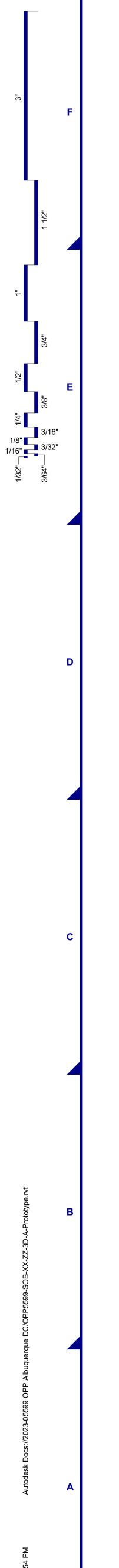
- KEY DESCRIPTION 1 RIGID INSULATION & SHEET METAL BLANKING PANEL BEHIND LOUVER. SEE DTL 6/A711 2 DOWNSPOUT FROM ROOF TO TIGHTLINE, SEE CIVIL, SEE DETAIL 6/A720
- 3 THRU-WALL SCUPPER TO CONDUCTOR HEAD & DOWNSPOUT ON EXTERIOR FACE OF BULDING, W/ 2" DEEP x 24" DIAMETER SUMP ON ROOF, SEE DETAILS 14 & 15/A720
- 4 STANDING SEAM COPING CAP ON PARAPET, SEE DETAILS 4 & 12/A720

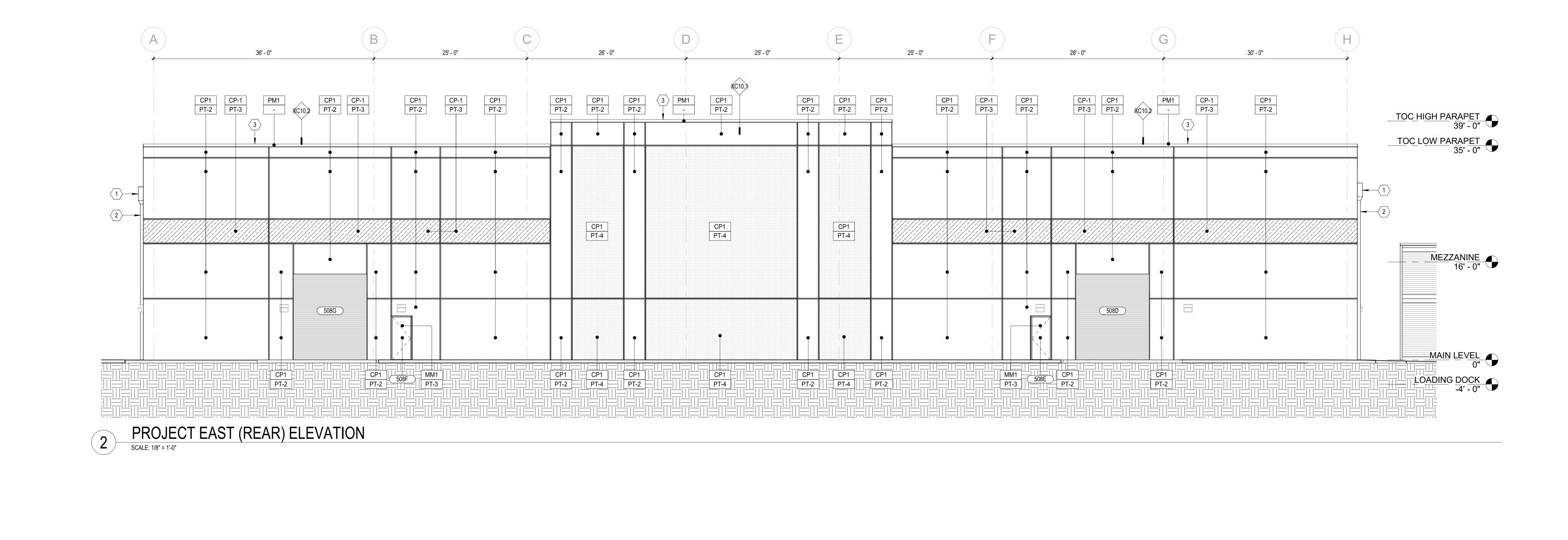
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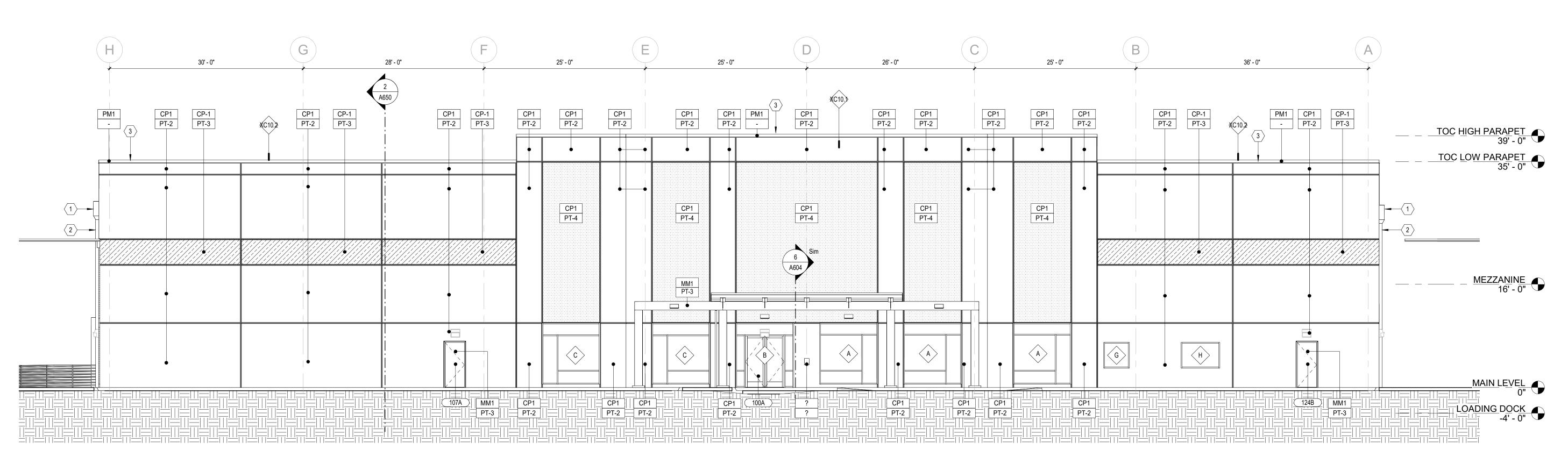


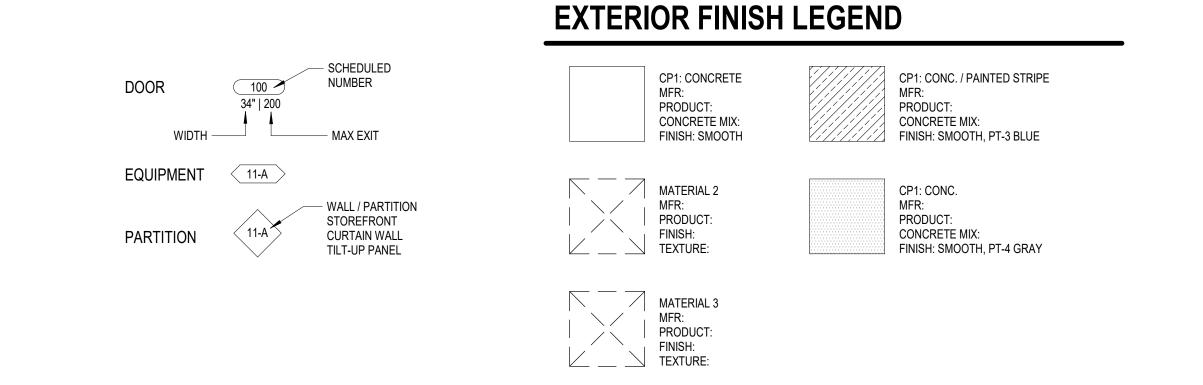
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1 PROJECT WEST (FRONT) ELEVATION SCALE: 1/8" = 1'-0"





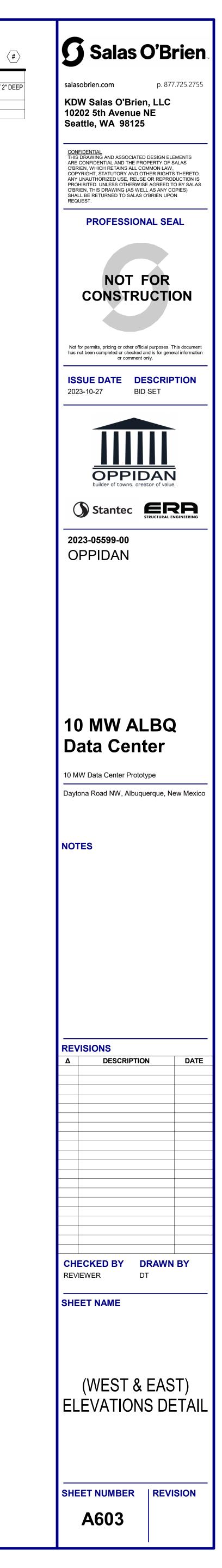
EXTERIOR MATERIAL SCHEDULE B

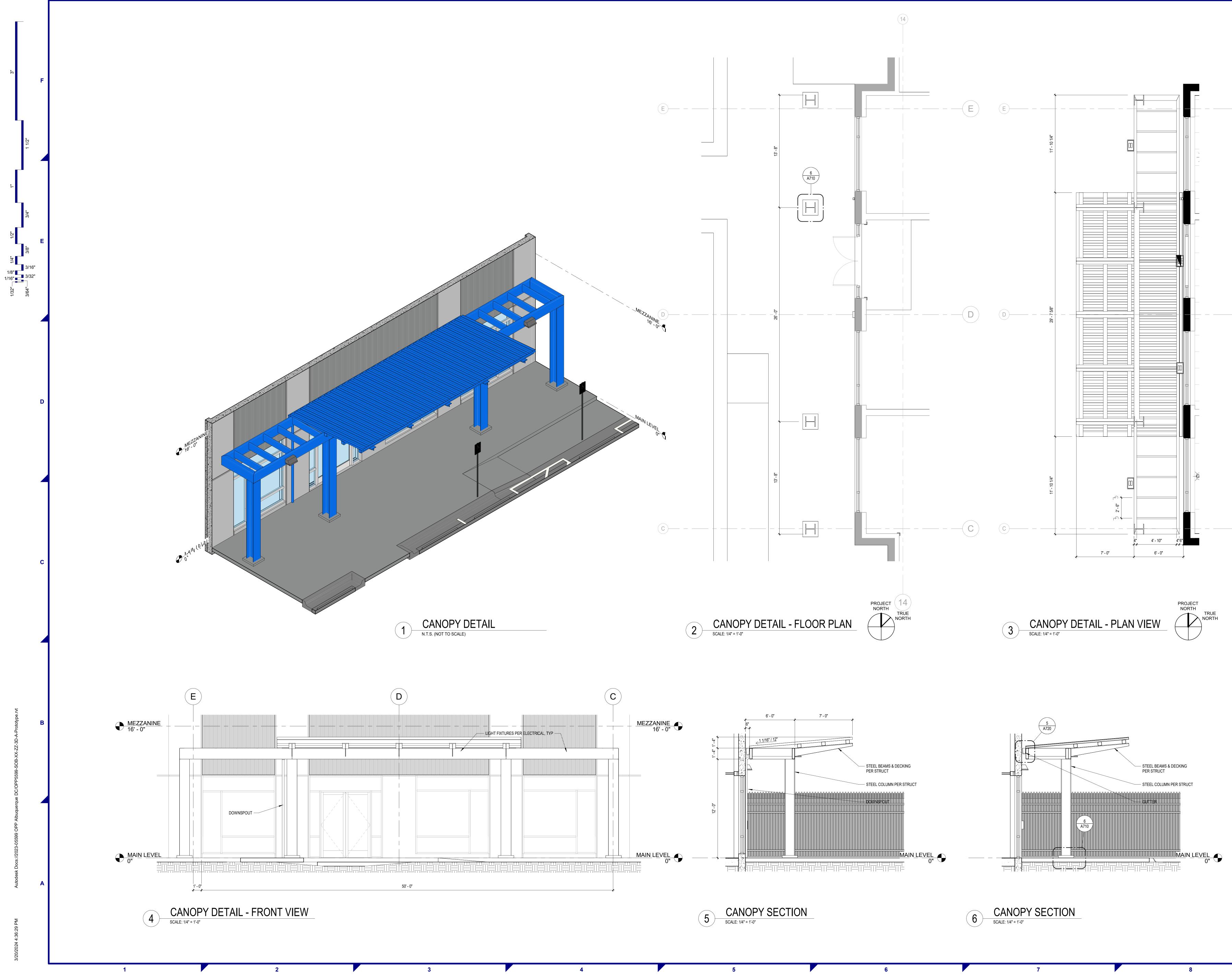
| MARK | MATERIAL | DESCRIPTION | FINISH |
|------|---------------------------|---|--|
| CP1 | CONCRETE | SMOOTH FACE TILT-UP CONCRETE PANEL W/ REVEALS | PT-2 |
| CWP1 | WALL PANEL | AEP SPAN NU-WAVE, 30% OPEN AREA, OLD TOWN GRAY. ALUMINUM PANELS OF SIMILAR APPERANCE ARE AN ACCEPTABLE ALTERNATE. | - |
| MM1 | METAL | METAL DOORS AND OTHER METAL SURFACES | PT-3 |
| PM1 | METAL | PREFINISHED METAL TO MATCH LOUVER COLOR | - |
| PM2 | METAL | PREFINISHED METAL TO MATCH PT-3 | - |
| | CP1 CWP1 MM1 PM1 | CP1 CONCRETE CWP1 WALL PANEL MM1 METAL PM1 METAL | CP1 CONCRETE SMOOTH FACE TILT-UP CONCRETE PANEL W/ REVEALS CWP1 WALL PANEL AEP SPAN NU-WAVE, 30% OPEN AREA, OLD TOWN GRAY. ALUMINUM PANELS OF SIMILAR APPERANCE ARE AN ACCEPTABLE ALTERNATE. MM1 METAL METAL DOORS AND OTHER METAL SURFACES PM1 METAL PREFINISHED METAL TO MATCH LOUVER COLOR |

SHEET KEYNOTES

DESCRIPTION KEY 1 THRU-WALL SCUPPER TO CONDUCTOR HEAD & DOWNSPOUT ON EXTERIOR FACE OF BULDING, W/ 2" DEEF x 24" DIAMETER SUMP ON ROOF, SEE DETAILS 14 & 15/A720

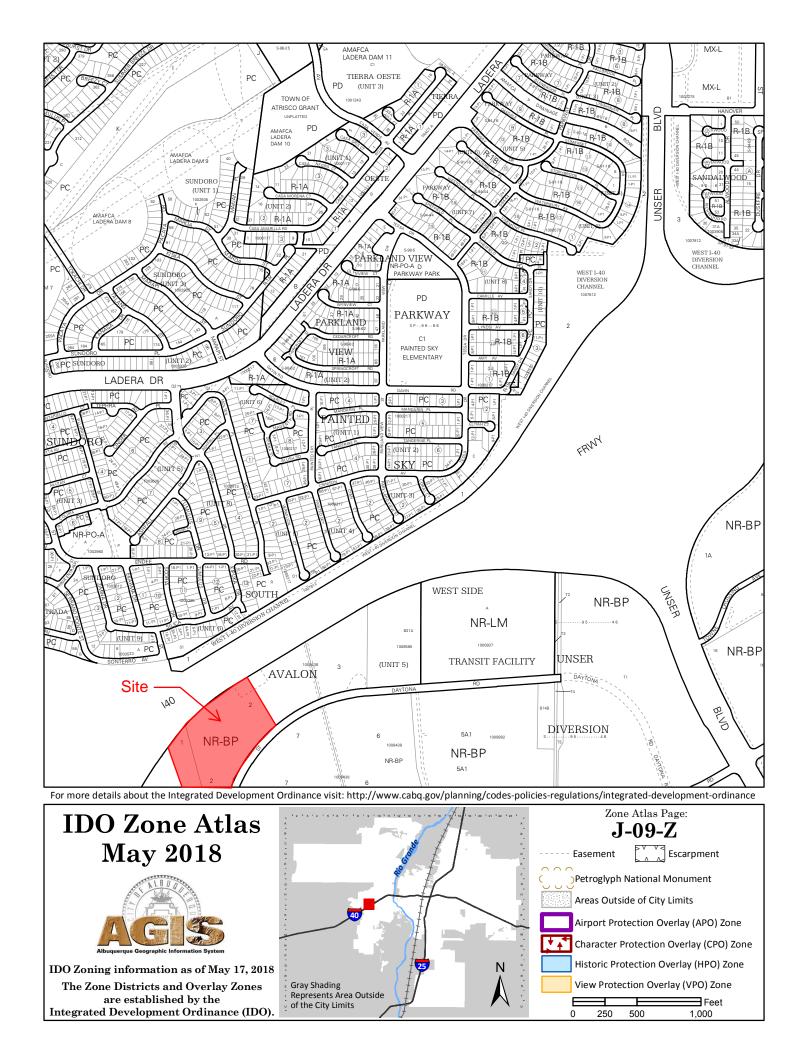
2 DOWNSPOUT FROM ROOF TO TIGHTLINE, SEE CIVIL, SEE DETAIL 6/A720 3 STANDING SEAM COPING CAP ON PARAPET, SEE DETAILS 4 & 12/A720

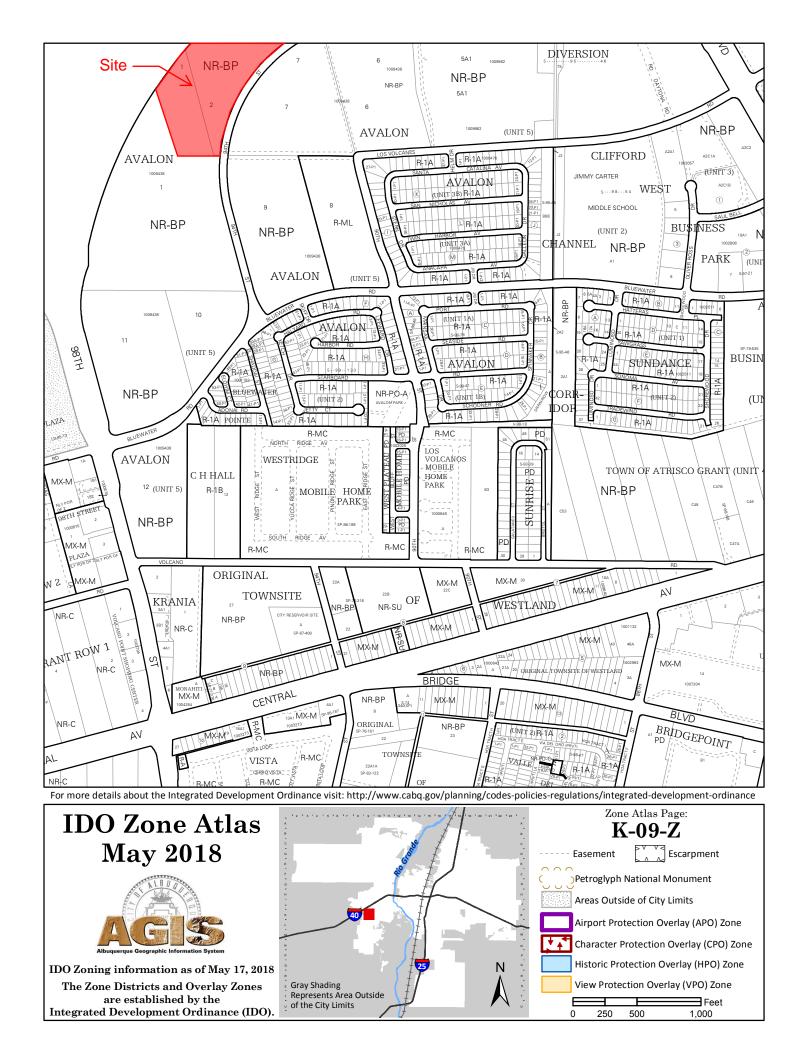




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| | salasobrien.com p. 877.725.2755 KDW Salas O'Brien, LLC 10202 5th Avenue NE Seattle, WA 98125 |
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| | 10 MW ALBQ |
| | Data Center 10 MW Data Center Prototype |
| | Daytona Road NW, Albuquerque, New Mexico |
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ZONE ATLAS MAP





INFRASTRUCTURE LIST

FIGURE 12

Date Submitted:

Date Site Plan Approved:

INFRASTRUCTURE LIST

(Rev. 2-16-18)

Date Preliminary Plat Expires:_____ DHO Project No.:_____

Date Preliminary Plat Approved:

DHO Application No.:____

TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST

REPLAT OF TRACT 2A AND TRACT 1 OF THE AVALON SUBDIVISION UNIT 5

PROPOSED NAME OF PLAT

TRACT 1 OF AVALON SUBDIVISION, UNIT 5 AND TRACT 2-A OF AVALON SUBDIVISION, UNIT 5

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| | | | | | | | | ruction Cer | |
|-------------|-------------|---------|-----------------------------------|--------------|-----------------|-------------------------|-----------|-------------|-----------|
| Financially | Constructed | Size | Type of Improvement | Location | From | To South Corner of | Priv | | City Cnst |
| Guaranteed | Under | | | | | existing Tract 2A (104' | Inspector | P.E. | Engineer |
| DRC # | DRC # | | Major Local Paving, Curb & Gutter | Deutene Deed | South Corner | south of proposed | | | |
| | | 36' F-F | 6' Sidewalk (north side) | Daytona Road | of Tract 2B | replatted corner of | / | / | / |
| | | | | <u></u> | | 2A-1) | , | , | , |
| | | | | | | | | | |
| | | 8" | PVC Sanitary Sewer Line | Daytona Road | Tract 1 ROW | 25' to centerline | | | |
| | | | w/ necessary manholes | | | of Daytona Road | / | / | / |
| | | | | | 16.4' northeast | 30' south of | | | |
| | | | Water PVC Line w/ necessary | Doutona Dood | of Tract 2A | Tract 1 existing | | | |
| | | 12" | values, MJ's & RJ's, tees, and | Daytona Road | Prop Line | Prop Line | , | 1 | , |
| | | | hydrants, laterals, and service. | | | | / | / | / |
| | | | | | 131.5' north of | | | | |
| | | | | Daytona Road | existing Tract | Dautana Baad | | | |
| | | 18" | RCP Storm Drain Laterals | Daylona Roau | 1 Prop Line | Daytona Road | / | / | / |
| | | | (see note 2) | | | | | | |
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| | | | approved for Impact Fee credits. Signatures the standard SIA requirements. | from the Impact Fee Ad | ministrator and the City U | ser Department is requ | ired prior to DRB approval | of this |
|-------------|---------------------|-------------|---|--------------------------|----------------------------|------------------------|----------------------------|-----------|
| Financially | Constructed | | | | | | Construction Certif | ication |
| Guaranteed | Under | Size | Type of Improvement | Location | From | То | Private | City Cnst |
| DRC # | DRC # | | | | | | Inspector P.E. | Engineer |
| | | | | | | | | |
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| | | | | | Approval of Creditabl | le Items: | Approval of Creditable Ite | ems: |
| | | | | | | | | |
| | | | | | Impact Fee Admistrat | or Signature Date | City User Dept. Signatur | re Date |
| | | | | NOTES | | | | |
| | | If the sit | e is located in a floodplain, then the financi | al guarantee will not be | released until the LOMR is | approved by FEMA. | | |
| | | | Street lig | hts per City rquirements | 5. | | | |
| 1 | | | | | | | | |
| - | | | | | | | | |
| - | | | | | | | | |
| 2 | Storm drain to incl | ude manhole | es and inlets | | | | | |
| - | | | | | | | | |
| - | | | | | | | | |
| 3 | | | | | | | | |
| - | | | | | | | | |
| - | | | | | | | | |
| | AGENT / OWNER | | | DEVELOPMENT FACILI | TATION TEAM APPROVAL | S | | |
| Ł | | | | | | | | |
| Colleen F | Ruiz, PE | | | | | | | |
| | NAME (print) | | PLANNI | NG - date | PAF | RKS & RECREATION - 0 | date | |
| | 10 an 2 (print) | | | | | | uuto | |
| Stantec | Consulting Service | s, Inc | | | | | | |
| 0 | FIRM | | TRANSPORTATION | EVELOPMENT - date | | AMAFCA - date | | |
| Colleen | Rug | | | | | | | |
| Control | 3/28/ | /24 | | | _ | | | |
| | SIGNATURE - date | | UTILITY DEVEL | OPMENT - date | CO | DE ENFORCEMENT - d | late | |
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| | | | | | | ····· | | |
| | | | CITY ENGI | NEER - date | | HYDROLOGY - date | | |
| - | | | | | | | | |
| | | | DESIGN R | EVIEW COMMITTEE RE | VISIONS | | | |
| | | | | | | | | |

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT /OWNER |
|----------|------|-----------|-----------------|--------------|
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SENSITIVE LAND ANALYSIS



City of Albuquerque - Planning Department 600 2nd St. NW, Suite 300 Albuquerque, New Mexico 87102 <u>www.cabq.gov/planning</u> <u>planningdepartment@cabq.gov</u>

Updated 11/2/2020

SENSITIVE LANDS ANALYSIS FORM

The following administrative instructions outline submittal requirements that must accompany an application for subdivision of land or site design, as applicable, for sensitive lands (ref. §14-16-5-2 of the IDO). The analysis should be conducted and signed by the professional(s) skilled in that landform, i.e., civil engineer, landscape architect, or geotechnical engineer.

Applications must include:

- 1. An inventory of each sensitive land feature, including:
 - a. Location of features on a scaled map overlaid on an aerial photo;
 - b. Photographs to capture all angles of the feature(s);
 - c. Pertinent dimensional descriptions (see detail in table); and
 - d. Other details (see table).
- 2. For each sensitive land featured, identify those features that will be saved. Identify how the feature will be protected during construction. For any features that will not be saved, provide justification as to why it is not practicable to save this feature.

| Sensitive Lands Table |
|-----------------------|
|-----------------------|

| FEATURE | MAP LOCATION | PHOTOS | DIMENSIONS | OTHER DETAILS |
|-------------------------------------|-----------------|--------|---|--|
| Floodplains and flood | Х | | | FEMA map, LOMR |
| hazard areas | | | | |
| Steep slopes | Х | Х | Percentage or vertical to horizontal rise | Description of erosive forces |
| Unstable soils | X | x | Geotechnical report ref. existence of clay, blowing sand, and/or high-water table | Description of soil characteristics |
| Wetlands (constant supply of water) | Х | Х | | Description of animal and plant species in ecosystem |
| Arroyos | X | Х | Historical CFS Side slopes Width and depth | Identify the arroyo in the natural drainage system |
| Irrigation facilities (acequias) | X | х | Height and width of levee Location of tope of slope Is it a community or MRGCD facility? | Identify the acequia in the irrigation system |
| Escarpment | Х | Х | Slope Length | Existence of petroglyphs; description of escarpment face |
| Rock outcroppings | Х | Х | Height, length and width | Describe co-existence of trees and shrubs |
| Large stands of mature trees | X | Х | Trunk caliper by species Number in each cluster Native species and non- native species? | Identify tree species and health *Evaluation of City Forrester required |
| Archeological sites | Х | | | >5 acres, archeological certificate |

The Sensitive Lands Analysis is based on these Comprehensive Plan Goals:

POLICY 11.3.1

Natural and Cultural Features:

Preserve and enhance the natural and cultural characteristics and features that contribute to the distinct identity of communities, neighborhoods, and cultural landscapes. [ABC]

- a) Minimize negative impacts and maximize enhancements and design that complement the natural environment, particularly features unique to Albuquerque, in development and redevelopment in light of the relationship to and effect upon the following:
 - i. Indigenous vegetation and other materials appropriate to landscapes;
 - ii. Topography and landscape features such as arroyos, the Rio Grande and Bosque, the foothills, and escarpments;
 - iii. Soils and erosion potential;
 - iv. Colors and textures of the natural environment; and
 - v. Scenic views from the public right-of-way
- b) Minimize the visibility of structures in highly scenic areas and on the western horizon as seen throughout the city through building design and materials that blend with the natural colors of the landscape and limit reflectivity.
- c) Protect important views from public rights-of-way through regulations on street orientation, site layout, building height, and signs.
- d) Encourage site design that enhances and leverages views to cultural landscapes.
- e) Encourage appropriate edge treatments, transitions, and buffers through site design and development standards for development adjacent to Open Space.
- f) Plat single-loaded streets to maintain scenic edges next to Open Space.
- g) Encourage reconstruction and revegetation to a natural setting.

11.3.1.1 Adopt site development standards and/or view protection overlays for orientation of new streets, building and wall height and placement, massing, frontage, color, signs, utilities, and/or tree preservation as needed to protect cultural landscapes and significant views from the public right-of-way along key corridors. [ABC]

POLICY 11.3.3

Bosque: Regulate development on adjacent lands to preserve and enhance the Bosque as an important cultural landscape that contributes to the history and distinct identity of the region, as well as nearby neighborhoods. [ABC]

- a) Minimize grading, changes to natural topography, and land disturbance to preserve natural features.
- b) Encourage reconstruction and revegetation to a natural setting on lands adjacent to the Bosque.

POLICY 11.3.6

Volcano Mesa: Preserve open space, natural and cultural landscapes, and other features of the natural environment within Volcano Mesa. [A]

- a) Respect Albuquerque's culture and history, including Hispanic and Native American, through context-sensitive development.
- b) Encourage development that is sensitive to the open, natural character of the area and geological and cultural conditions.
- c) Protect important views, vistas, and view corridors from within Volcano Mesa to the Rio Grande basin, across the city of Albuquerque, and to the Sandia Mountains.
- d) Protect the area's natural and archaeological resources, including the Monument and significant rock outcroppings, while encouraging urban development in the Volcano Heights Urban Center to create a vibrant, walkable district with an identity, character, and sense of place inextricably linked to the volcanic landscape.

| FEATURE | MAP LOCATION | PHOTOS | PRESENCE | OTHER DETAILS |
|---|-----------------|--------|----------|--|
| Flood plains and Flood Hazard Areas | x | x | None | See attached firmette of onsite floodplains. |
| Steep Slopes | x | x | | See attached topography map showcasing 2ft contours. |
| Unstable Soils | x | x | N/A | |
| Wetlands (Constant supply of water) | x | x | | See attached firmette. Standing water is present on site. |
| Arroyos | × | x | | No existing arroyos present on site. |
| Irrigation facilities (Acequias) | × | x | | No existing Acequias present on site. |
| Riparian Areas | x | x | | No existing Riparian areas present on site. |
| Escarpment | x | х | | No escarpment noted on site. |
| Rock outcroppings | x | х | | No rock outcroppings noted on site. |
| Large stands of mature trees | x | х | | No mature trees noted on site. |
| Archeological Sites | x | | | No archeological issues have been uncovered. See attached certificate of no-effect from City Archeologist date 1/30/24 |

PHOTOGRAPHS FROM SITE







Oppidan ABQ 10MW DC-Sensitive Land Analysis











Oppidan ABQ 10MW DC-Sensitive Land Analysis



09 CLIMATIC AND GEOGRAPHIC RESPONSIVE DESIGN CONSIDERATIONS

Albuquerque Site & Building Design Considerations

These Albuquerque Site and Building Design Considerations are recommended for all designers of site plans in Albuquerque. They were developed by a team of architects and planners convened to give advice to people designing projects for Albuquerque. These forms (fillable in Adobe Acrobat Reader) are encouraged for inclusion in a site plan application, but they are <u>not</u> required.

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

- 3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution. Achieved □ Achieved in Part □ Evaluated Only □

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

| Achieved | Achieved in Part \Box | Evaluated Only |
|----------|-------------------------|----------------|
| | | |

5. Design should allow for natural ventilation as much as possible.
 Achieved
 Achieved in Part

 Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Evaluated Only

| 7. | North facing | entries should | be carefully considered b | because they receive no direct sunlight |
|----|--------------|-----------------|---------------------------|---|
| | during much | of the winter a | ind increase the need for | snow and ice removal. |
| | Achieved | | Achieved in Part 🗌 | Evaluated Only |

- 8. North facing windows are encouraged as they require little to no shading.
 Achieved
 Achieved in Part

 Evaluated Only
- 9. Any west facing building entries and windows should mitigate solar effects.
 Achieved □ Achieved in Part □ Evaluated Only □

Outdoor Elements (Integration):

- 10. Site plan design should spatially connect outdoor and indoor areas.AchievedAchieved in PartEvaluated Only
- 11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

| Achieved | Achieved | in Part 🗌 | Evaluated | Only 🗌 |
|----------|----------|-----------|-----------|--------|
|----------|----------|-----------|-----------|--------|

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved in Part Evaluated Only

- 13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease. Achieved Achieved in Part Evaluated Only
- 14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred. Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

```
Achieved
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Achieved in Part
Evaluated Only

- 16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.
 - Achieved
 Achieved in Part
 Evaluated Only
- 17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

| Achi | ieved | \square |
|-------|-----------|-----------|
| ACIII | i c v c u | |

Achieved in Part
Evaluated Only

<u>Views:</u>

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved

Achieved in Part

Evaluated Only

By checking the boxes, I demonstrate that I have evaluated the Albuquerque Design Considerations in the design of Project ______ and Application No

005295

Signature of Project Architect/License No.

LA-2024-0009

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis will provide the designer with important information about building performance. The following steps are recommended for all commercial and residential projects in Albuquerque.

The desired outcome is that *summer sun* be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of *winter sun* should reach transparent windows and doors at noon on each facade.

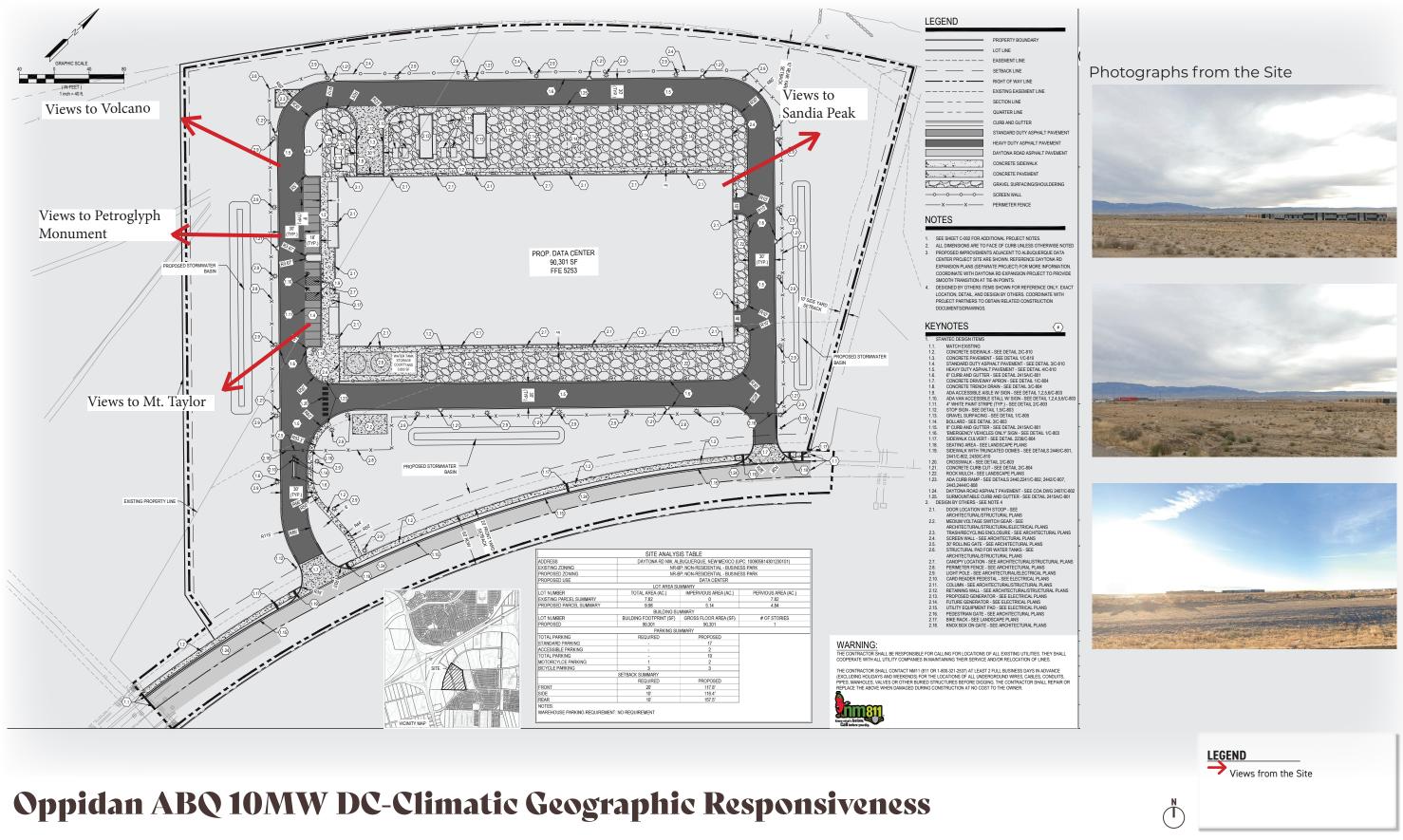
It is recommended that the sun and shade analysis include elevations of all primary facades.

Summer Sun Analysis

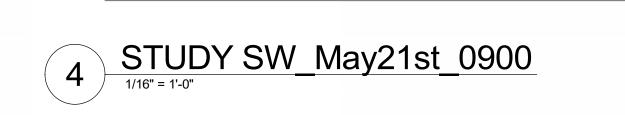
- 1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of the area of transparent windows and doors that are shaded at 9 am and 4 pm. The desired outcome is that 50% or more of the area of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.
 - c. The shading study for May should show the percentage of the area of the transparent windows and doors that are shaded at noon. The desired outcome is for 90% or more of the area of the transparent windows and doors be shaded at noon on each façade.
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state "no solar effect."

Winter Sun Analysis

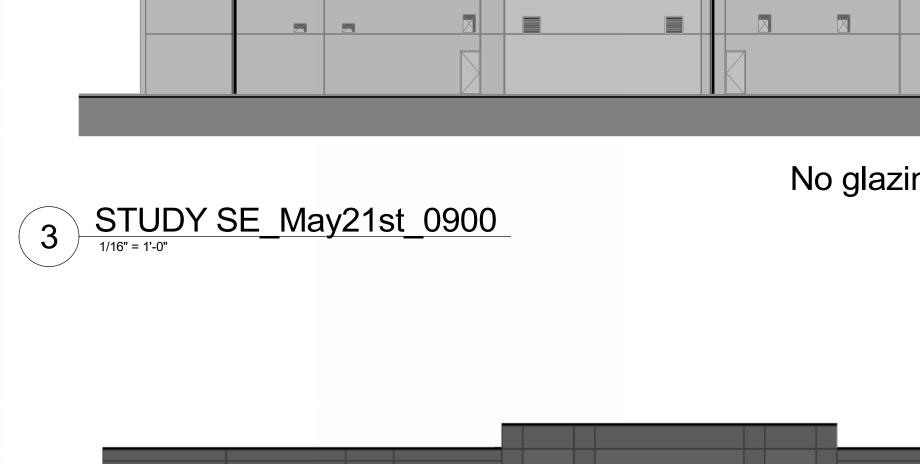
- 1. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November should show the amount of sun reaching the transparent windows or doors and not shaded. The desired outcome is for available sun to reach 75% of the area of the windows or transparent doors on each facade.

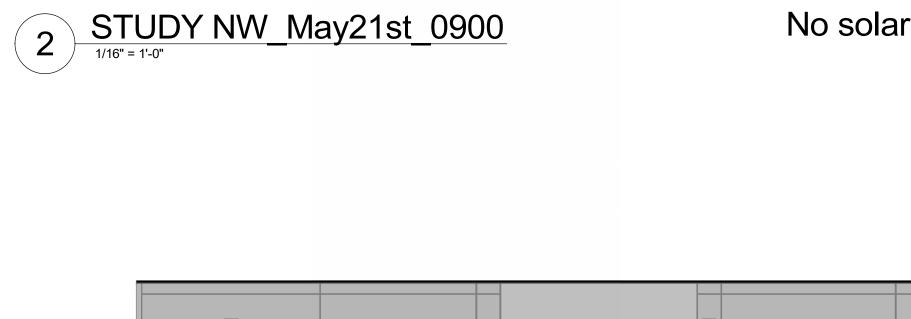


Oppidan ABQ 10MW DC - Climatic Geographic Responsiveness SUMMER MAY 21ST 0900

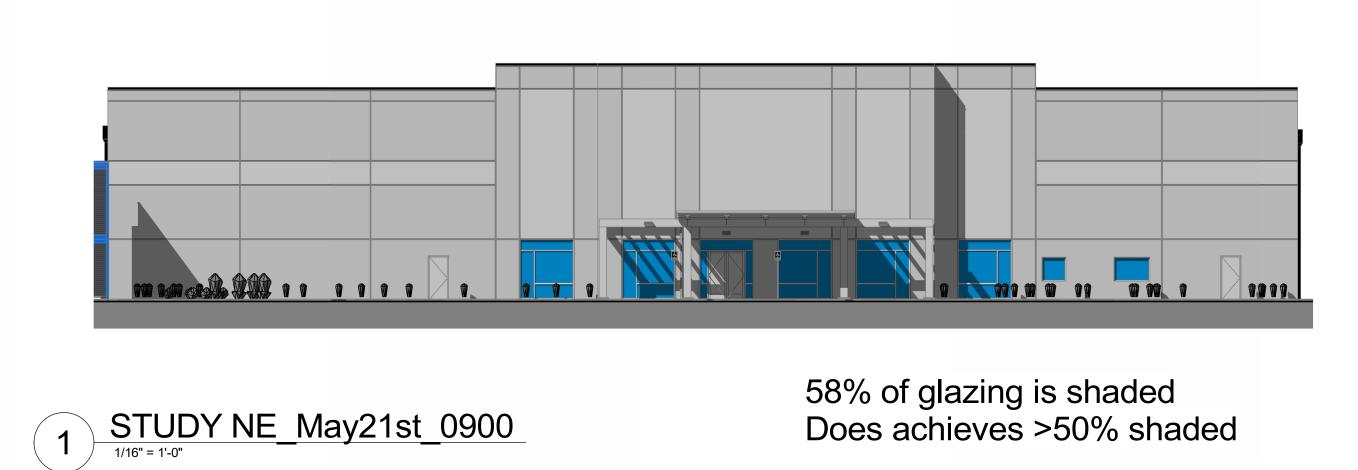


No solar effect

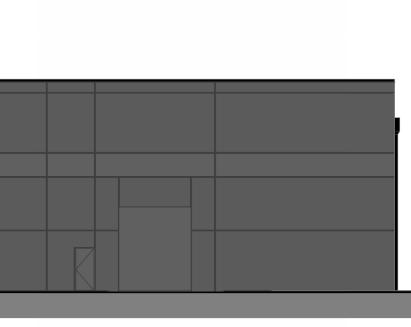






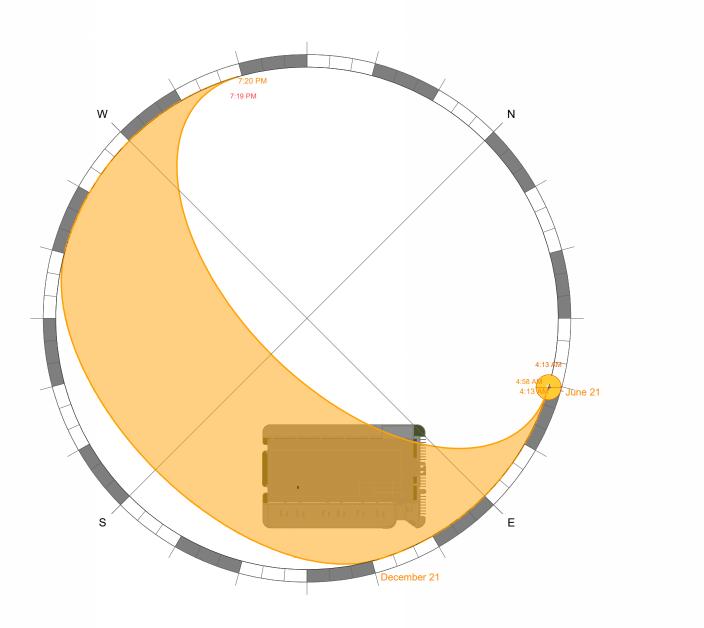






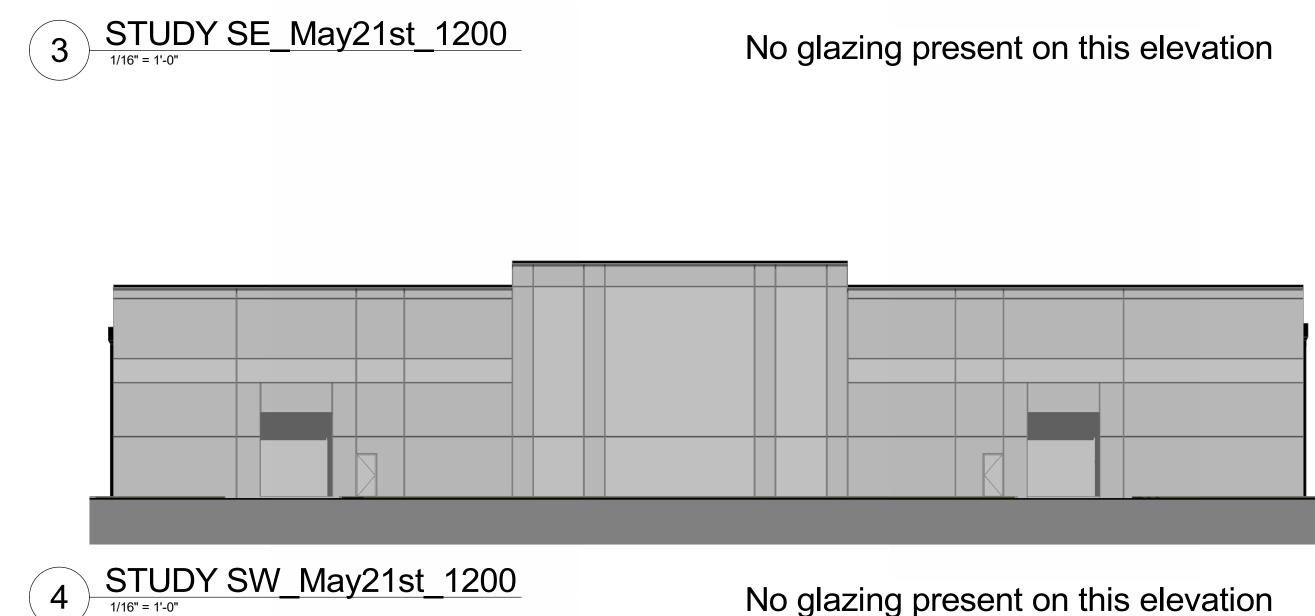
No glazing present on this elevation

No solar effect

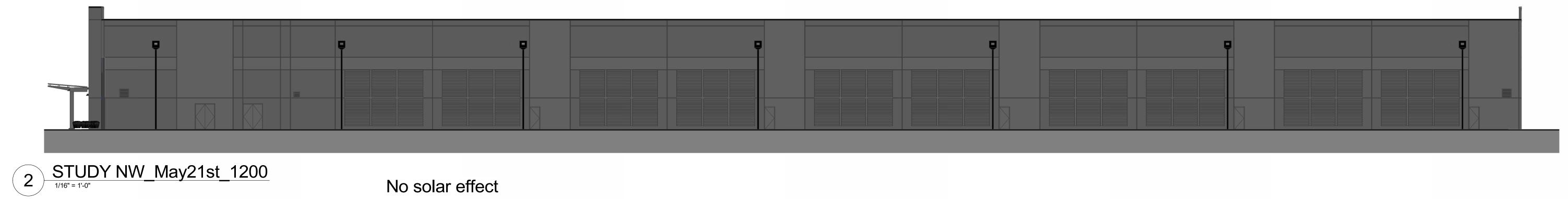




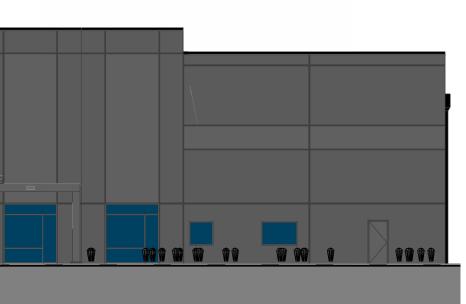
Oppidan ABQ 10MW DC - Climatic Geographic Responsiveness SUMMER MAY 21ST 1200







1 <u>STUDY NE_May21st_1200</u>



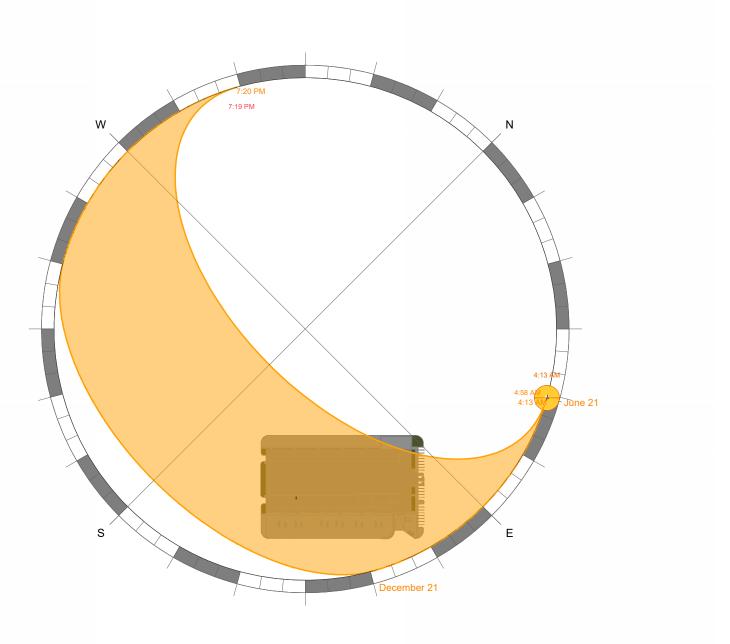
No solar effect

No solar effect

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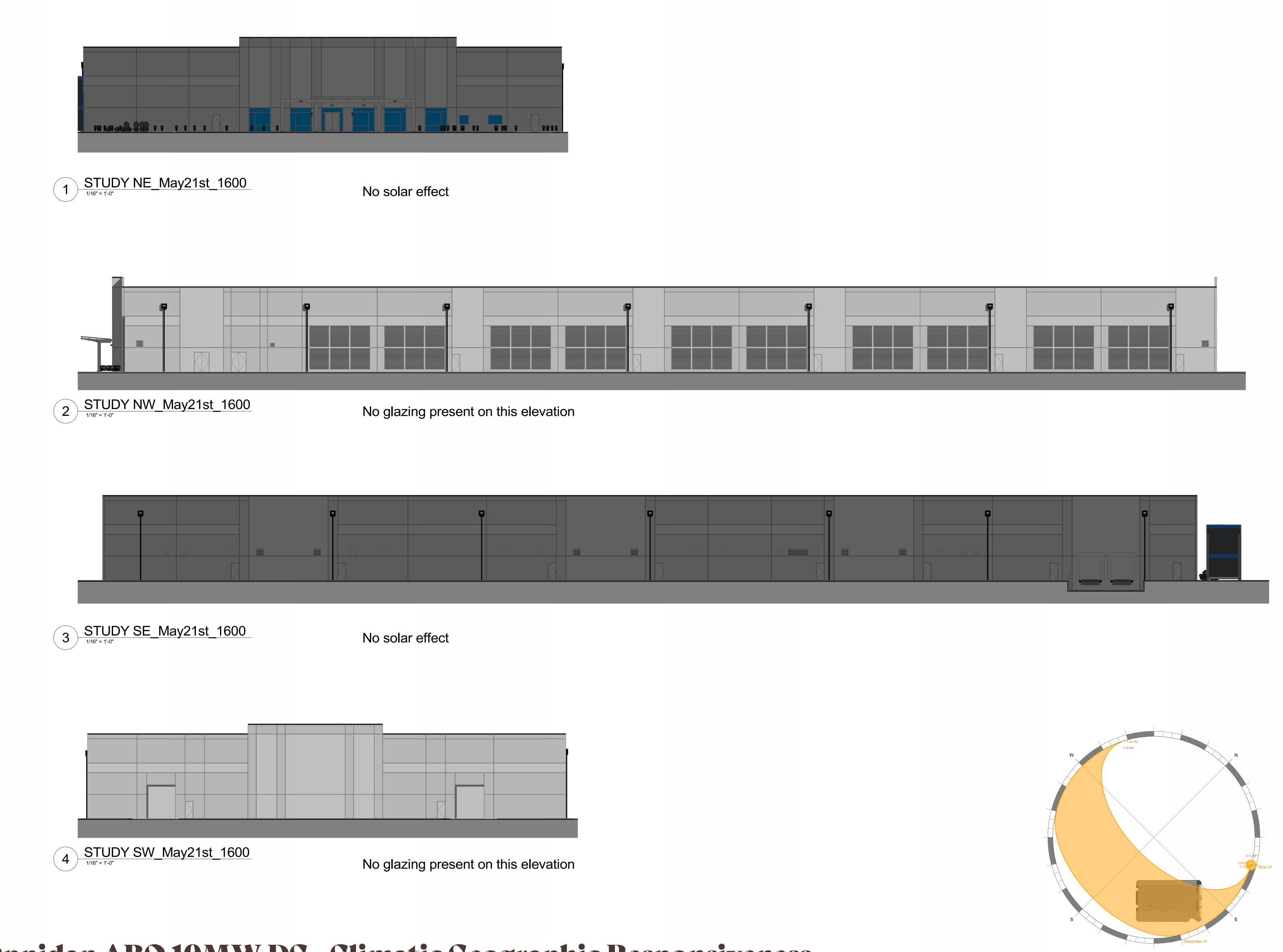
No glazing present on this elevation

No glazing present on this elevation





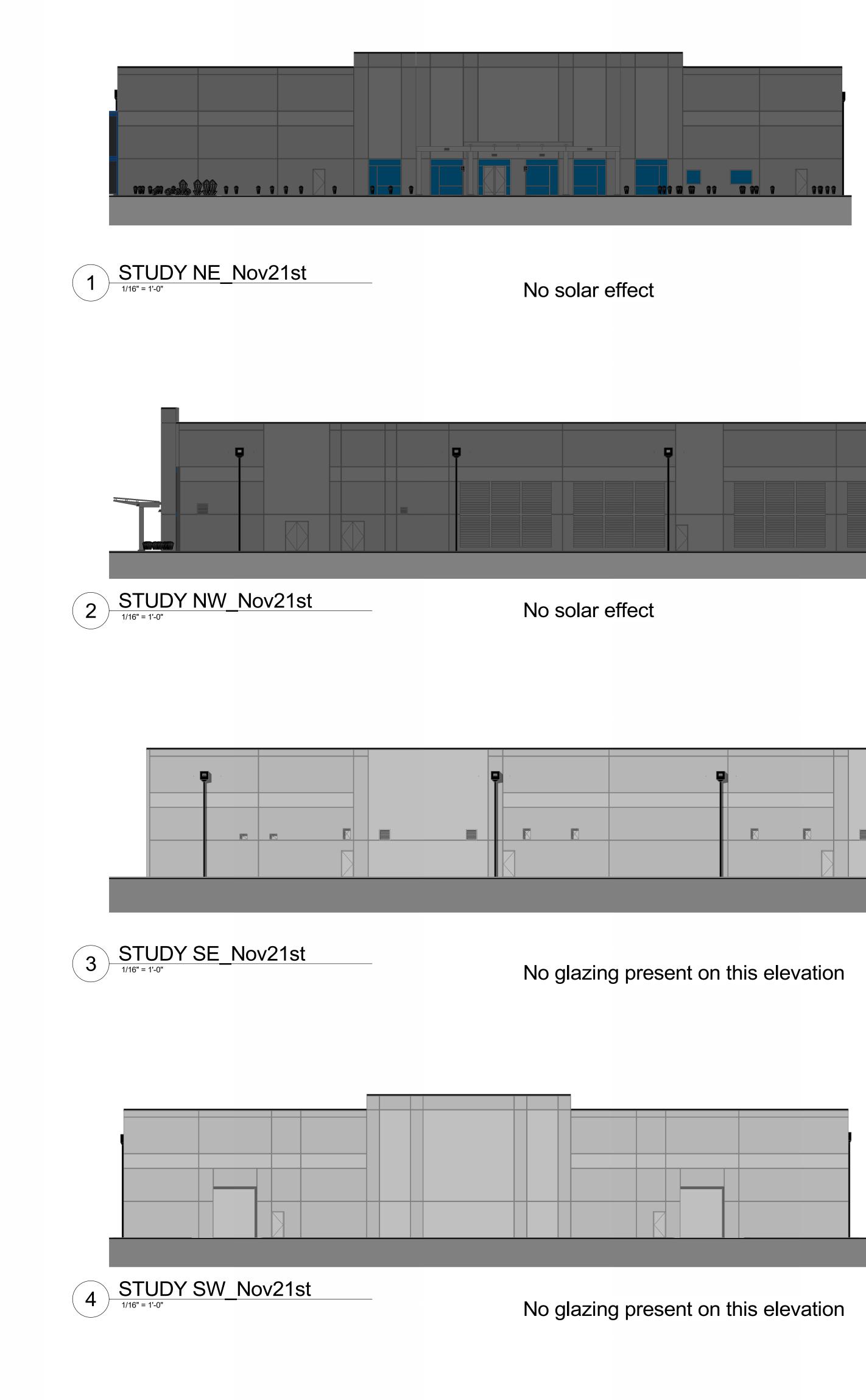
Oppidan ABQ 10MW DC - Climatic Geographic Responsiveness SUMMER MAY 21ST 1600



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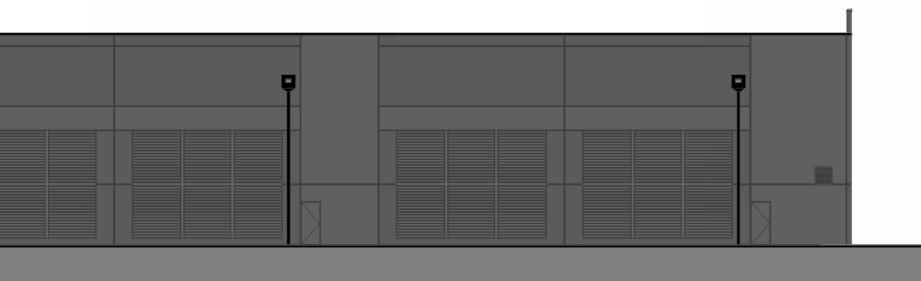


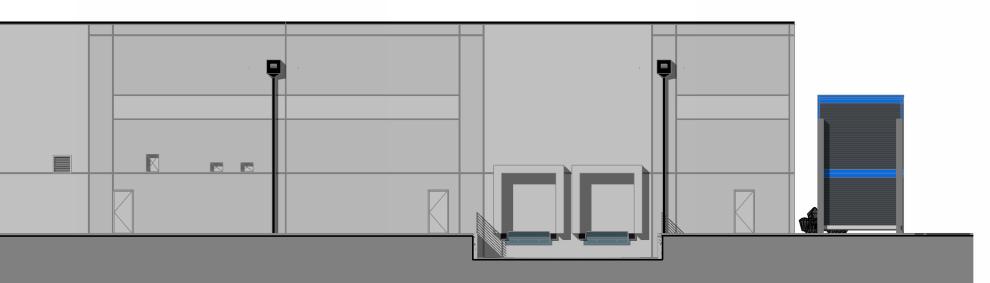
Oppidan ABQ 10MW DC - Climatic Geographic Responsiveness WINTER NOVEMBER 21ST 1200

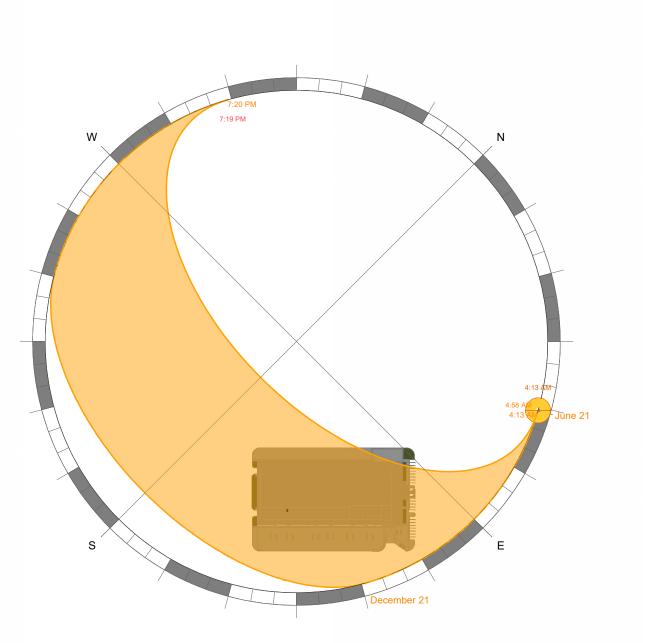




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SUPPORTIVE DOCUMENTATION

10 COMPLETED SITE PLAN CHECKLIST

Project #: ______ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT **REJECTION OF THE APPLICATION OR IN** A DELAY OF ONE MONTH OR MORE IN THE DATE THE

APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

04/02/2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

- Site Plan (including utilities and easements) 1.
- Landscaping Plan 2.
- Grading and Drainage Plan 3.
- **Utility Plan** 4.
- **Building and Structure Elevations** 5.
- Previously approved Development Plan (if applicable) 6

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- Date of drawing and/or last revision Х 1. Х 2.
 - Scale: 1.0 acre or less 1" = 10' 1.0 - 5.0 acres 1" = 20' Over 5 acres 1" = 50' Over 20 acres 1" = 100'

- Bar scale
- North arrow
- Legend
- X 5. X 6. Scaled vicinity map
- <u>X</u> 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- NA 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- XA. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- <u>Х</u>В. Square footage of each structure
- X C. Proposed use of each structure
- <u>X</u>D. <u>X</u>E. Signs (freestanding) and other improvements
- Walls, fences, and screening: indicate height, length, color and materials
- ΧF. Dimensions of all principal site elements or typical dimensions
- XG. Loading facilities
- Хн. Site lighting (indicate height & fixture type)
- NA I. Indicate structures within 20 feet of site
- Х_J. Elevation drawing of refuse container and enclosure, if applicable.
- Х К. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- <u>X</u> A. Parking layout with spaces numbered per aisle and totaled.
 - Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA Х 1. accessible spaces, and compact spaces
 - <u>X</u>2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - <u>NA_</u>3. On street parking spaces
- <u>Х</u>в. Bicycle parking & facilities
 - X 1. X 2. Bicycle racks – location and detail
 - Other bicycle facilities, if applicable
- <u>X</u> C. Vehicular Circulation (Refer to DPM and IDO)
 - <u>X</u> 1. Ingress and egress locations, including width and curve radii dimensions
 - X 2. Drive aisle locations, including width and curve radii dimensions
 - <u>X</u> 3. <u>X</u> 4. End aisle locations, including width and curve radii dimensions
 - Location & orientation of refuse enclosure, with dimensions
 - <u>X</u> 5. Loading, service area, and refuse service locations and dimensions
- <u>X</u> D. Pedestrian Circulation
 - <u>X</u> 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

- X 7. Identify type, location and size of plantings (common and/or botanical names).
 - X A. Existing, indicating whether it is to preserved or removed.
 - X B. Proposed, to be established for general landscaping.
 - <u>X</u>C. Proposed, to be established for screening/buffering.
- X 8. Describe irrigation system Phase I & II . . .
- X 9. Planting Beds, indicating square footage of each bed
- <u>NA</u> 10. Turf Area only 20% of landscaped area can be high water turf; provide square footage and percentage.
- X 11. Responsibility for Maintenance (statement)
- X 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- X 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- X 14. Planting or tree well detail
- X 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- X 16. Parking lot edges and interior calculations, dimensions and locations including tree requirements
- X_17 . Show Edge Buffer Landscaping (14-16-5-6(D)) location, dimensions and plant material

SHEET #3 – GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- X 1. Scale must be same as Sheet #1 Site Plan
- X____2. Bar Scale
- X_____3. North Arrow
- X_ 4. Property Lines
- X 5. Existing and proposed easements
- X 6. Building footprints
- X 7. Location of Retaining walls

B. Grading Information

- <u>X</u> 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- X 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- X 3. Identify ponding areas, erosion and sediment control facilities.
- X_____4. Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

- $\frac{X}{X_{-3}}^{2}$ Location and dimension of drive aisle crossings, including paving treatment
 - Location and description of amenities, including patios, benches, tables, etc.
- NA e. **Off-Street Loading**
 - Location and dimensions of all off-street loading areas 1.

NA_F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- Location and dimensions of vehicle stacking spaces and gueuing lanes 1.
- Landscaped buffer area if drive-through lanes are adjacent to public R/W 2.
- Striping and Sign details for one-way drive through facilities _____ 3.

3. Streets and Circulation

- X ____A. Locate and identify adjacent public and private streets and alleys.
 - <u>X</u> 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - <u>X</u> 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - <u>NA</u> 3. Location of traffic signs and signals related to the functioning of the proposal
 - X____4. Identify existing and proposed medians and median cuts
 - <u>X</u> 5. Sidewalk widths and locations, existing and proposed
 - <u>X</u> 6. Location of street lights
 - <u>X</u> 7. Show and dimension clear sight triangle at each site access point
 - X 8. Show location of all existing driveways fronting and near the subject site.

NA B. Identify Alternate transportation facilities within site or adjacent to site

- Bikeways and bike-related facilities ____ 1.
- _____ 2. Pedestrian trails and linkages
- _____ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- X 1. Scale must be same as scale on sheet #1 Site plan
- X____2. Bar Scale
- X 3. North Arrow
- X 4. Property Lines
- X 5 Existing and proposed easements
- X 6. Identify nature of ground cover materials
 - ΧA. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - Χв. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - X_C. Ponding areas either for drainage or landscaping/recreational use

SHEET #4- UTILITY PLAN

- X A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- X B. Distribution lines
- X C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- X D. Existing water, sewer, storm drainage facilities (public and/or private).
- X E. Proposed water, sewer, storm drainage facilities (public and/or private)
- X F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- <u>Х</u>А. <u>Х</u>В. Scale
- Bar Scale
- Хc. Detailed Building Elevations for each facade
 - X 1. Identify facade orientation
 - \overline{X} 2. Dimensions of facade elements, including overall height and width
 - \overline{X}_{3} . Location, material and colors of windows, doors and framing
 - X 4. Materials and colors of all building elements and structures
 - Χ₅. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- X_1 . Site location(s)
- \underline{X} 2. Sign elevations to scale
- \overline{X}_{3} . Dimensions, including height and width
- X 4. Sign face area dimensions and square footage clearly indicated
- X 5. Lighting
- X 6. Materials and colors for sign face and structural elements.
- X_7. List the sign restrictions per the IDO

11 LETTERS OF AUTHORIZATION

98" and 1-40 Land, LLC

City of Albuquerque Planning Department 600 2nd St NW, Albuquerque, NM 87102

Re: Westpointe 40 Data Center Entitlements UPC: 100905814301230101 Authorization to Obtain any Necessary Entitlements

To Whom It May Concern,

This letter authorizes Oppidan Holdings and their agent Dekker/Perich/Sabatini LLC to obtain any necessary entitlement approvals in relation to Tract 2-A of Avalon Subdivision Unit 5 currently owned by 98TH & I-40 Land LLC located within the Westpointe 40 Business Park. Oppidan is completing their due diligence for the property and therefore authorized to act on the behalf of 98TH & I-40 Land LLC in regard to all applications/submittals and associated approvals in regards to Site Plan Amendments/Approvals, Development Facilitation Team and/or Development Hearing Officer processes with the City of Albuquerque for the above referenced project (Tract 2-A of the Avalon Subdivision Unit 5).

Should you require any additional information, please contact me at (505) 261-1176.

Sincerely,

Sal Perdomo Titan Development on behalf of 98th and I-40 Land, LLC



January 4, 2023

City of Albuquerque Planning Department 600 2nd St NW, Albuquerque, NM 87102

Re: Westpoint 40 Data Center Entitlements UPC: 100905814301230101

To Whom It May Concern,

This letter authorizes Dekker/Perich/Sabatini LLC to represent Oppidan Holdings with regard to necessary entitlements for a Data Center located along Daytona Rd NW located within the Westpoint 40 Business Park. This letter authorizes Dekker/Perich/Sabatini LLC to act as Oppidan Holdings' agent as necessary with the associated approval processes required for the proposed amendment on the property referenced above.

Sincerely,

Drew Johnson drew@oppidan.com 612-554-1897 SVP – Development **Oppidan Holdings, LLC**

12 JUSTIFICATION LETTER

March 26, 2024

DEKKER PERICH SABATIN

Architecture

in Progress

Jay Rodenbeck, Development Facilitation Team City of Albuquerque Planning Department 600 2nd St., Plaza del Sol Albuquerque, NM 87106

Re: Westpointe 40 Data Center Administrative Site Plan – DFT Tract 2-A of the Avalon Subdivision Unit 5 along Daytona Road NW

Dear Mr. Rodenbeck,

Dekker Perich Sabatini, as the agent for Oppidan Holdings, LLC, is seeking approval of a Administrative Site Plan - DFT approval for an approximate 90,301 SF Data Center on Tract 2-A of the Avalon Subdivision Unit 5 along Daytona Road NW in the Westpointe 40 Business Park.

The subject property is currently located on two parcels, the smaller of which is 7.82 acres and with a lot line adjustment to the west property boundary, the combined a total will be 9.98 acres. The site is bound by Interstate 40 (north), Daytona Road NW (south), Southern Tire Mart (east), and a vacant parcel (west). The subject property is zoned NR-BP Non-Residential Business Park. The data center is classified as warehouse use, which is permissive within the NR-BP, Non-Residential Business Park.

The proposed facility will be a single-story, 36' tall to the top of parapet, and 32' to the top of the roof. The data center will have an exterior generator yard, that will be screened from view from the public right-of way, as well as screened exterior water tanks. The construction materials will be painted precast concrete, and the elevation facing southwest will be the main building entrance.

The site plan will have an entrance drive from Daytona Road NW. The project includes an access road that loops around the building for site circulation and fire access. The building has two at grade drive in accesses on the northeastern side and a recessed loading dock on the northwest. The project will provide stormwater management per City requirements for water quality treatment. Sanitary and water service will be provided via the extended public mains along Daytona Road NW. A looped watermain around the building will be provided for hydrant coverage.

The facility will have less than 15 cars and trucks on site at any time, at full build out. Typical operations for the facility will include a single, 24-hour security person, seven days a week. There will be a day shift of 3-4 engineers, with sporadic daily traffic for software and IT network related operations staff. It is not anticipated that on-site employees will exceed 10-12 persons during any peak period. There will be fewer employees on site during evenings and weekends. Additional usage of the facility will include maintenance for mechanical units as needed but at least on a monthly basis using standard service vehicles. It is expected that the facility will see one to two deliveries per day.

As Per <u>Table 5-5-1 Minimum Off- Street Parking Standards</u> of the IDO, Warehouse uses are not required to provide set minimum number of parking spaces. The site provides 20 parking spaces which will be sufficient to accommodate the anticipated on-site employees. Per IDO Section 6-5(G)(1)(f), the proposed development is subject to the Site Plan – Administrative procedures and review and decision criteria. The proposed site plan complies with the criteria of IDO Section 6-5(G)(3) Review and Decision Criteria for Site Plan – Administrative as outline below. The criteria are bolded, and the responses are italicized.

6-5(G)(3)(a) The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

The proposed development complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to the development of the property in prior permit or approval affecting the property.

| Compliance with Applicable IDO Standards | | | | | | |
|--|---|---|--|--|--|--|
| NR-BP Site Standards | | Subject Site | | | | |
| Lot width, minimum | 100 ft. | 700 ft., approximately | | | | |
| Building coverage, maximum | 50% | 20%, approximately | | | | |
| Setback Standards | | | | | | |
| Front, minimum | 20 ft. | 117.8 ft., proposed | | | | |
| Side, minimum | 10 ft. | 116.4 ft., proposed | | | | |
| Side, maximum | N/A | N/A | | | | |
| Rear, minimum | 10 ft. | 157.5 ft., proposed | | | | |
| Rear, maximum | N/A | N/A | | | | |
| Building Height | | | | | | |
| Building height, maximum | 65 ft. No maximum for portions of building >100 ft. from front lot line. | 36 ft., proposed 1 story | | | | |
| Parking | | | | | | |
| Warehouse use | N/A | 20 stalls, proposed | | | | |
| Buffering | No parking permitted within a required landscape buffer | No parking located along front property line | | | | |
| Outdoor Seating Gathering Ar | eas | | | | | |
| See 5-11(E)(3) Outdoor | 1 outdoor seating and gathering area of 400 SF for every 30,000 Gross Floor Area. 25% of the seating area should be shaded from the sun. The seating area should be provided with pedestrian scale lighting, street furniture and trash receptacles and should be linked to the primary entrance/public | Proposed 90,301 SF building requires three (3) outdoor seating and gathering areas of 400 SF each 100 SF shaded area each outdoor seating area | | | | |

ARCHITECTURE / DESIGN / INSPIRATION

505.761.9700 DPSDESIGN.ORG

| | sidewalk or to | |
|----------------------------------|---|--|
| | maximize views to | |
| | public or private open | |
| | space. | |
| Ground-mounted Mechanical | Equipment | |
| | Outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties with low- density residential development to the maximum extent practicable. | Equipment is not located visible from streets. The property is not located around City Parks or trails, Public Open spaces, major arroyos, or residential developments. |
| Loading, Service and Refuse A | vreas | |
| | Outdoor loading, service, and refuse areas shall be integrated into the building design if possible or shall be located where they are not visible from streets, City parks, Major Public Open Space, trails, or major arroyos adjacent to the lot or from adjacent properties with low- density residential development to the maximum extent practicable. | Refuse area is proposed in the northwest property corner and screened from streets. The property is not located around City Parks or trails, Public Open spaces, major arroyos, or residential developments. |

6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

As detailed in the Infrastructure List, the proposed improvements will include the expansion of Daytona Road South adjacent to the proposed property and ensure the infrastructure and public improvements have adequate capacity to serve the proposed development. A recorded IIA will be completed following the approval of the Infrastructure List and after the necessary financial guarantees and bonds are posted.

6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

ARCHITECTURE / DESIGN / INSPIRATION

The subject property does not fall within the boundaries of any approved Master Development Plan; therefore, this criterion is not applicable.

505.761.9700 DPSDESIGN.ORG

6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

The proposed site plan does not fall within the boundaries of an approved framework plan; therefore, this criterion is not applicable.

The project team offered a Pre-Submittal Neighborhood Meeting to adjacent Neighborhood Associations per the requirements of IDO Section 6-4(B). The South West Alliance of Neighborhood (SWAN) did not respond to the project team notice.

Based on the rationale presented in this letter, we respectfully request approval of the proposed site plan. If you have any questions or need clarification, please contact me at <u>willg@dpsdesign.org</u> or at (505)967-9700.

Sincerely,

Will Gleason Urban Planning Studio Manager, Dekker Perich Sabatini Agent for Oppidan Holdings

ITE 100505.761.970087109DPSDESIGN.ORG

ARCHITECTURE / DESIGN / INSPIRATION

14 ARCHEOLOGICAL CERTIFICATE



Tim Keller, Mayor Sarita Nair, CAO

City of Albuquerque

P.O. Box 1293 Albuquerque, NM 87103 **Planning Department** Alan Varela, Interim Director

DATE: January 30, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

| Case Number(s): | PR-2020-004747 |
|---------------------|---|
| Agent: | Andrew Richard |
| Applicant: | Oppidan Holdings, LLC |
| Legal Description: | Tract 2-B and a portion of Tract 1, Avalon Subdivision Unit 5 |
| Zoning: | NR-BP |
| Acreage: | 11 Acres |
| Zone Atlas Page(s): | J-9-Z and K-9-Z |

| CERTIFICATE OF NO EFFECT: | ✔ Yes | No |
|---------------------------|-------|-------|
| CERTIFICATE OF APPROVAL: | Ycs | No No |

SUPPORTING DOCUMENTATION:

Historic Google Earth images, NMCRIS records

SITE VISIT: n/a

RECOMMENDATIONS:

The parcel appears to have been disturbed by blading between 2006 and 2016 and definitely by 2018. Therefore:CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

1-30-2024

Douglas H. M. Boggess, MA, RPA Date Senior Principal Investigator Acting City Archaeologist Lone Mountain Archaeological Services, Inc. SUBMITTED TO:

Planning, Development Services

PUBLIC NOTICE DOCUMENTATION

17 SIGN POSTING AGREEMENT

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

- 1. LOCATION
 - A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
 - B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
 - C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.
- 3. PHYSICAL POSTING
 - A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
 - B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.
- 4. TIME

Signs must be posted from ______To _____To _____

- 5. REMOVAL
 - A. The sign is not to be removed before the initial hearing on the request.
 - B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

| | Will Gleason | (Applicant or Agent) | (Date) |
|----------|-------------------------------|----------------------|----------------|
| l issued | _ signs for this application, | ,,,, | (Staff Member) |
| | PROJE | | |

18 PROOF OF NEIGHBORHOOD MEETING



PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

| | First | | | | | | | Mobile | |
|---|----------|-----------|---------------------------|---------------------|-------------|-------|-------|------------|------------|
| Association Name | Name | Last Name | Email | Address Line 1 | City | State | Zip | Phone | Phone |
| Avalon NA | Samantha | Pina | avasecretary121@gmail.com | 423 Elohim Court NW | Albuquerque | NM | 87121 | 5053633455 | |
| Avalon NA | Lucy | Anchondo | avalon3a@yahoo.com | 601 Stern Drive NW | Albuquerque | NM | 87121 | | 5058396601 |
| | | Hernandez | | 5921 Central Avenue | | | | | |
| South West Alliance of Neighborhoods (SWAN Coalition) | Luis | Jr. | luis@wccdg.org | NW | Albuquerque | NM | 87105 | | |
| | | | | 5921 Central Avenue | | | | | |
| South West Alliance of Neighborhoods (SWAN Coalition) | Jerry | Gallegos | jgallegoswccdg@gmail.com | NW | Albuquerque | NM | 87105 | 5053855809 | 5058362976 |

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, preconstruction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabo.gov, or visit: https://www.cabo.gov/planning/online-planning-permitting-applications with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. https://www.cabq.gov/planning/urban-design-development/public-notice.
 The Checklist form you need for notifying neighborhood associations can be found here: https://www.cabq.gov/planning/urban-design-development/public-notice.
 The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-.
- Official_public_notice_form-2019.pdf.
 The Administrative Decision form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1% 20 Procedures% 20 Summary% 20 Table State Sta

Thank you,

Suzie



Suzie Flores Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque (S05) 768-3334 Office E-mail: <u>suzannaflores@cabq.gov</u> Website: <u>www.caba.gov/neighborhoods</u>

From: webmaster@cabq.gov <webmaster@cabq.gov> Sent: Friday, January 5, 2024 3:19 PM To: Office of Neighborhood Coordination <vikkie@dpsdesign.org> Ce: Office of Neighborhood Coordination <onc@cabq.gov> Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For: Environmental Planning Commission If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below: Contact Name Vikkis Everett Telephone Number 505-761-9700 Email Address <u>vikkis@dopsdesign.org</u> Company Name DPS as Agent for Oppidan Holdings, LLC Attn Company Address City State ZIP Legal description of the subject site for this project: Legal Description Per Plat: TRACT NUMBERED TWO (2) OF AVALON SUBDIVISION UNIT 5, A SUBDIVISION OF A TRACT OF LAND LOCATED WITHIN PROJECTED SECTIONS 16 AND 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NM.P.M. TOWN OF ATRISCO GRANT, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALLLO COUNTY, NEW MEXICO, ON MAY 22, 2014, IN PLAT BOOK 2014C, PAGE 46. Legal Description Per CABQMAPS: TR 2A PLAT FOR TRACT 2-A AND 2-B AVALON SUBDIVISION UNIT 5(BEING COMPRISED OF TRACT 2 AVALON SUBDIVISION UNIT 5(BEING COMPRISED OF TRACT 2 AVALON SUBDIVISION UNIT 5(BEING COMPRISED OF DAYTONA RD NW ALBUQUERQUE NM 87121 Subject site cross streets: ________St MA 40

x

| From: | Vikki Everett |
|--------------|--|
| Sent: | Tuesday, March 26, 2024 12:54 PM |
| То: | Rebecca Shank; Will Gleason |
| Subject: | Fwd: Neighborhood Meeting Offer to Discuss Westpointe 40 Data Center |
| Attachments: | Westpointe40DataCener-NeighborhoodMeetingOffer-SWAN.pdf |

Get Outlook for iOS

From: Jessica Lawlis <<u>JessicaL@dpsdesign.org</u>>
Sent: Tuesday, March 26, 2024 12:27:53 PM
To: Vikki Everett <<u>VikkiE@dpsdesign.org</u>>
Subject: Fwd: Neighborhood Meeting Offer to Discuss Westpointe 40 Data Center

Sent from my T-Mobile 5G Device Get <u>Outlook for Android</u>

From: Jessica Lawlis
Sent: Thursday, January 18, 2024 9:37:01 AM
To: <u>luis@wccdg.org <luis@wccdg.org>; jgallegoswccdg@gmail.com <jgallegoswccdg@gmail.com></u>
Cc: Will Gleason <<u>WillG@dpsdesign.org</u>>; Ammerman, Jack <<u>jack.ammerman@stantec.com</u>>
Subject: Neighborhood Meeting Offer to Discuss Westpointe 40 Data Center

Dear Mr. Hernandez and Gallegos,

The purpose of this letter is to offer you an opportunity to discuss the proposal of a single-story, data center on the 7.98-acre parcel (Tract 2-A, Avalon Subdivision Unit 5) along Daytona Road NW in Albuquerque, NM.

Dekker/Perich/Sabatini, agent for Oppidan Holdings, LLC, is seeking for a Minor Subdivision and Site Plan approval to facilitate a 90,000 SF Data Center within the Westpointe 40 Industrial Park.

The building will be approximately 90,000 SF and will be 36' tall to the top of parapet, and 32' to the top of the roof. The data center will have an exterior generator yard, that will be screened from view from the public right-of way, as well as screened exterior water tanks. The construction materials will be painted precast concrete, and the elevation facing southwest will be the main building entrance.

The site plan will have an entrance drive from Daytona Road NW with 20 parking stalls. The project includes an access road that loops around the building for site circulation and fire access. The building has two at grade drive in accesses on the northeastern side and a recessed loading dock on the northwest. The project will provide stormwater management per City requirements for water quality treatment. Sanitary and water service will be provided via the extended public mains along Daytona Road NW. A looped watermain around the building will be provided for hydrant coverage.

The facility will have less than 15 cars and trucks on site at any time, at full build out. Typical operations for the facility will include a single, 24-hour security person, seven days a week. There will be a day shift of 3-4 engineers, with sporadic daily traffic for software and IT network related operations staff. It is not anticipated that on-site employees will exceed 10-12 persons during any peak period. There will be fewer employees on site during evenings and weekends. Additional usage of the facility will include maintenance for mechanical units as needed but at least on a monthly basis using standard service vehicles. It is expected that the facility will see one to two deliveries per day.

The project schedule: begin site work in fall 2024, complete the building shell by spring of 2026, and full occupancy and operations by summer *I* fall 2026.

This letter is to offer you an opportunity to have a neighborhood meeting to discuss two City approvals that the owner intends to request:

- A Minor Lot Subdivision for lot line adjustment of an existing tract to increase it to approximately 11 acres.
- A Site Plan approval from the Development Facilitation Team to facilitate an approximately 90,000 SF Data Center.

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss this request. **If you would like to schedule a Neighborhood Meeting to discuss this matter, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Thursday, February 8, 2024, at 505-967-9600 or by email at <u>JessicaL@dpsdesign.org</u>.** Enclosed you will find a preliminary, conceptual site plan indicating the proposed data center. Please note that this site plan is in the early design stages and subject to change. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the appropriate hearings at which time the application will be reviewed and decided on by the City of Albuquerque. The finalized site plan will be sent with the notification for the DFT action, anticipated in the Spring of 2024. As noted above, there may be multiple submittals to the City; we will follow all applicable City guidelines for notification, and we are available to help answer questions that you may have about this project.

Sincerely,



Jessica Lawlis, AICP Studio Manager, Urban Planning Dekker Perich Sabatini 505.761.9700 / dpsdesign.org DPS announces new Chief Design Officer, Sanjay Kadu

Architecture in Progress

| From: | Vikki Everett |
|--------------|--|
| Sent: | Tuesday, March 26, 2024 12:55 PM |
| То: | Rebecca Shank; Will Gleason |
| Subject: | Fwd: Neighborhood Meeting Offer to Discuss Westpointe 40 Data Center |
| Attachments: | Westpointe40DataCener-NeighborhoodMeetingOffer-AVALON.pdf |

Get Outlook for iOS

From: Jessica Lawlis <<u>JessicaL@dpsdesign.org</u>>
Sent: Tuesday, March 26, 2024 12:28:11 PM
To: Vikki Everett <<u>VikkiE@dpsdesign.org</u>>
Subject: Fwd: Neighborhood Meeting Offer to Discuss Westpointe 40 Data Center

Sent from my T-Mobile 5G Device Get <u>Outlook for Android</u>

From: Jessica Lawlis
Sent: Thursday, January 18, 2024 9:36:38 AM
To: avasecretary121@gmail.com <avasecretary121@gmail.com>; avalon3a@yahoo.com
<avalon3a@yahoo.com>
Cc: Will Gleason <<u>WillG@dpsdesign.org</u>>; Ammerman, Jack <<u>jack.ammerman@stantec.com</u>>
Subject: Neighborhood Meeting Offer to Discuss Westpointe 40 Data Center

Dear Ms. Pina and Anchondo,

The purpose of this letter is to offer you an opportunity to discuss the proposal of a single-story, data center on the 7.98-acre parcel (Tract 2-A, Avalon Subdivision Unit 5) along Daytona Road NW in Albuquerque, NM.

Dekker/Perich/Sabatini, agent for Oppidan Holdings, LLC, is seeking for a Minor Subdivision and Site Plan approval to facilitate a 90,000 SF Data Center within the Westpointe 40 Industrial Park.

The building will be approximately 90,000 SF and will be 36' tall to the top of parapet, and 32' to the top of the roof. The data center will have an exterior generator yard, that will be screened from view from the public right-of way, as well as screened exterior water tanks. The construction materials will be painted precast concrete, and the elevation facing southwest will be the main building entrance.

The site plan will have an entrance drive from Daytona Road NW with 20 parking stalls. The project includes an access road that loops around the building for site circulation and fire access. The building has two at grade drive in accesses on the northeastern side and a recessed loading dock on the northwest. The project will provide stormwater management per City requirements for water quality treatment. Sanitary and water service will be provided via the extended public mains along Daytona Road NW. A looped watermain around the building will be provided for hydrant coverage.

The facility will have less than 15 cars and trucks on site at any time, at full build out. Typical operations for the facility will include a single, 24-hour security person, seven days a week. There will be a day shift of 3-4 engineers, with sporadic daily traffic for software and IT network related operations staff. It is not anticipated that on-site employees will exceed 10-12 persons during any peak period. There will be fewer employees on site during evenings and weekends. Additional usage of the facility will include maintenance for mechanical units as needed but at least on a monthly basis using standard service vehicles. It is expected that the facility will see one to two deliveries per day.

The project schedule: begin site work in fall 2024, complete the building shell by spring of 2026, and full occupancy and operations by summer *I* fall 2026.

This letter is to offer you an opportunity to have a neighborhood meeting to discuss two City approvals that the owner intends to request:

- A Minor Lot Subdivision for lot line adjustment of an existing tract to increase it to approximately 11 acres.
- A Site Plan approval from the Development Facilitation Team to facilitate an approximately 90,000 SF Data Center.

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss this request. **If you would like to schedule a Neighborhood Meeting to discuss this matter, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Thursday, February 8, 2024, at 505-967-9600 or by email at <u>JessicaL@dpsdesign.org</u>.** Enclosed you will find a preliminary, conceptual site plan indicating the proposed data center. Please note that this site plan is in the early design stages and subject to change. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the appropriate hearings at which time the application will be reviewed and decided on by the City of Albuquerque. The finalized site plan will be sent with the notification for the DFT action, anticipated in the Spring of 2024. As noted above, there may be multiple submittals to the City; we will follow all applicable City guidelines for notification, and we are available to help answer questions that you may have about this project.

Sincerely,



Jessica Lawlis, AICP Studio Manager, Urban Planning Dekker Perich Sabatini 505.761.9700 / dpsdesign.org DPS announces new Chief Design Officer, Sanjay Kadu

Architecture in Progress

DEKKER PERICH SABATINI

January 18, 2024

Samantha Pina, avasecretary121@gmail.com Lucy Anchondo, avalon3a@yahoo.com Avalon Neighborhood Association

Re: Neighborhood Meeting Offer for Future Development Application Administrative Site Plan – DFT for 90,000 Data Center Minor Lot Subdivision

Dear Ms. Pina and Anchondo,

The purpose of this letter is to offer you an opportunity to discuss the proposal of a single-story, data center on the 7.98-acre parcel (Tract 2-A, Avalon Subdivision Unit 5) along Daytona Road NW in Albuquerque, NM.

Dekker/Perich/Sabatini, agent for Oppidan Holdings, LLC, is seeking for a Minor Subdivision and Site Plan approval to facilitate a 90,000 SF Data Center within the Westpointe 40 Industrial Park.

The building will be approximately 90,000 SF and will be 36' tall to the top of parapet, and 32' to the top of the roof. The data center will have an exterior generator yard, that will be screened from view from the public right-of way, as well as screened exterior water tanks. The construction materials will be painted precast concrete, and the elevation facing southwest will be the main building entrance.

The site plan will have an entrance drive from Daytona Road NW with 20 parking stalls. The project includes an access road that loops around the building for site circulation and fire access. The building has two at grade drive in accesses on the northeastern side and a recessed loading dock on the northwest. The project will provide stormwater management per City requirements for water quality treatment. Sanitary and water service will be provided via the extended public mains along Daytona Road NW. A looped watermain around the building will be provided for hydrant coverage.

The facility will have less than 15 cars and trucks on site at any time, at full build out. Typical operations for the facility will include a single, 24-hour security person, seven days a week. There will be a day shift of 3-4 engineers, with sporadic daily traffic for software and IT network related operations staff. It is not anticipated that on-site employees will exceed 10-12 persons during any peak period. There will be fewer employees on site during evenings and weekends. Additional usage of the facility will include maintenance for mechanical units as needed but at least on a monthly basis using standard service vehicles. It is expected that the facility will see one to two deliveries per day.

The project schedule: begin site work in fall 2024, complete the building shell by spring of 2026, and full occupancy and operations by summer *I* fall 2026.

This letter is to offer you an opportunity to have a neighborhood meeting to discuss two City approvals that the owner intends to request:

- A Minor Lot Subdivision for lot line adjustment of an existing tract to increase it to approximately 11 acres.
- A Site Plan approval from the Development Facilitation Team to facilitate an approximately 90,000 SF Data Center.



In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss this request.

If you would like to schedule a Neighborhood Meeting to discuss this matter, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Thursday, February 8, 2024, at 505-967-9600 or by email at JessicaL@dpsdesign.org.

Enclosed you will find a preliminary, conceptual site plan indicating the proposed data center. Please note that this site plan is in the early design stages and subject to change. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the appropriate hearings at which time the application will be reviewed and decided on by the City of Albuquerque. The finalized site plan will be sent with the notification for the DFT action, anticipated in the Spring of 2024. As noted above, there may be multiple submittals to the City; we will follow all applicable City guidelines for notification, and we are available to help answer questions that you may have about this project.

Sincerely,

lession Jawlis

Jessica Lawlis, AICP Urban Planning Studio Manager, Dekker Perish Sabatini, Agent for Oppidan Holdings.

Attachments: Required COA Notice Form, Zone Atlas Map, and Preliminary Conceptual Site Plan.

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: January 18, 2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) <u>Subsection 14-16-6-4(K) Public Notice</u> to:

Neighborhood Association (NA)*: Avalon NA

Name of NA Representative*: Samantha Pina and Lucy Anchondo

Email Address* or Mailing Address* of NA Representative¹: <u>avasecretary121@gmail.com</u> avalon3a@yahoo.com The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: _jessical@dps.design.org

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

- Subject Property Address* <u>9304 SILICA AVE NW</u>
 Location Description Parcel on Daytona Rd, near 98th & I-40, see attached zone atlas map.
- 2. Property Owner* 98TH & I-40 LAND LLC
- 3. Agent/Applicant* [if applicable] Dekker Perich Sabatini, Jessica Lawlis
- 4. Application(s) Type* per IDO <u>Table 6-1-1</u> [mark all that apply]
 - □ Conditional Use Approval
 - Permit ______ (Carport or Wall/Fence Major)
 - 🕱 Site Plan
 - X Subdivision Minor (Minor or Major)

¹ Pursuant to <u>IDO Subsection 14-16-6-4(K)(5)(a)</u>, email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

- □ Vacation ______ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- □ Zoning Map Amendment
- □ Other:

Summary of project/request^{3*}:

Sketch Plat / Plan Review for Minor Lot Subdivision for lot line adjustment of an existing tract to support the proposed project. Oppidan Holdings, LLC proposes to construct a ~90,000 SF 10MW Data Center with a 6,800 SF office component. The project will include ground mounted mechanical units, parking, perimeter access roads, utilities, stormwater management, and appurtenances. The facility will be encompassed by a security fence with gate.

| 5. | This type of application will be decided by*: | □ City Staff | | | |
|--------|---|---|--|--|--|
| | OR at a public meeting or hearing by: | Development Facilitation Team | | | |
| | Zoning Hearing Examiner (ZHE) | X Development Review Board (DRB) | | | |
| | Landmarks Commission (LC) | Environmental Planning Commission (EPC) | | | |
| | City Council | | | | |
| 6. | Where more information about the project can be found*4: By contacting agent, Jessica Lawlis at jessical@dpsdesign.org or at (505)761-9700 | | | | |
| Projec | t Information Required for Mail/Email Not | ice by <u>IDO Subsection 6-4(K)(1)(b)</u> : | | | |
| 1. | Zone Atlas Page(s)* ⁵ J-9 and K-9 | | | | |
| 2. | . Architectural drawings, elevations of the proposed building(s) or other illustrations of the | | | | |
| | proposed application, as relevant*: <u>Attached</u> | to notice or provided via website noted above | | | |
| 3. | 3. The following exceptions to IDO standards will be requested for this project*: | | | | |
| | Deviation(s) Variance(s) | □ Waiver(s) | | | |
| | Explanation: | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

4. An offer of a Pre-submittal Neighborhood Meeting is required by <u>Table 6-1-1</u>*: X Yes \Box No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

- 5. *For Site Plan Applications only**, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - X c. Maximum height of any proposed structures, with building elevations.*
 - □ d. For residential development*: Maximum number of proposed dwelling units.
 - **Q** e. For non-residential development*:
 - X Total gross floor area of proposed project.
 - X Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶: Currently 7.983, lot line adjustment will increase to a. Area of Property [typically in acres] approximately 11 ac.
 - b. IDO Zone District <u>Non-Residential Business Park (NR-BP)</u>
 - c. Overlay Zone(s) [if applicable] NA
 - d. Center or Corridor Area [*if applicable*]_NA
- 2. Current Land Use(s) [vacant, if none] Vacant

Useful Links

Integrated Development Ordinance (IDO):

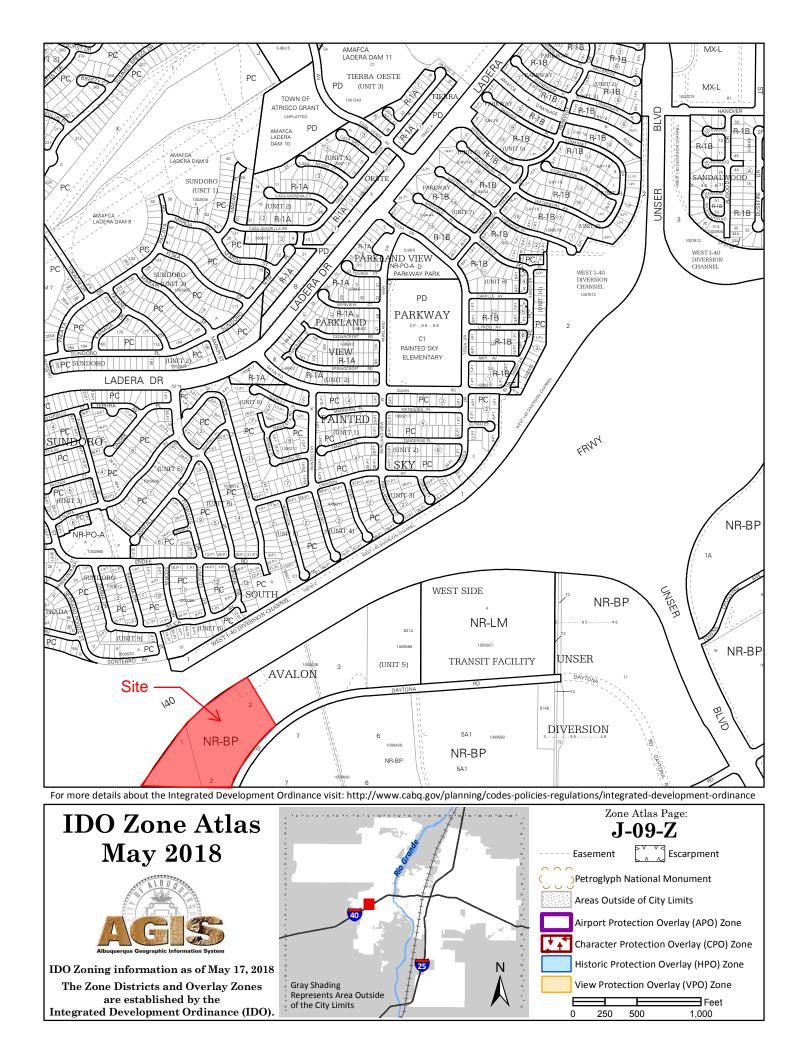
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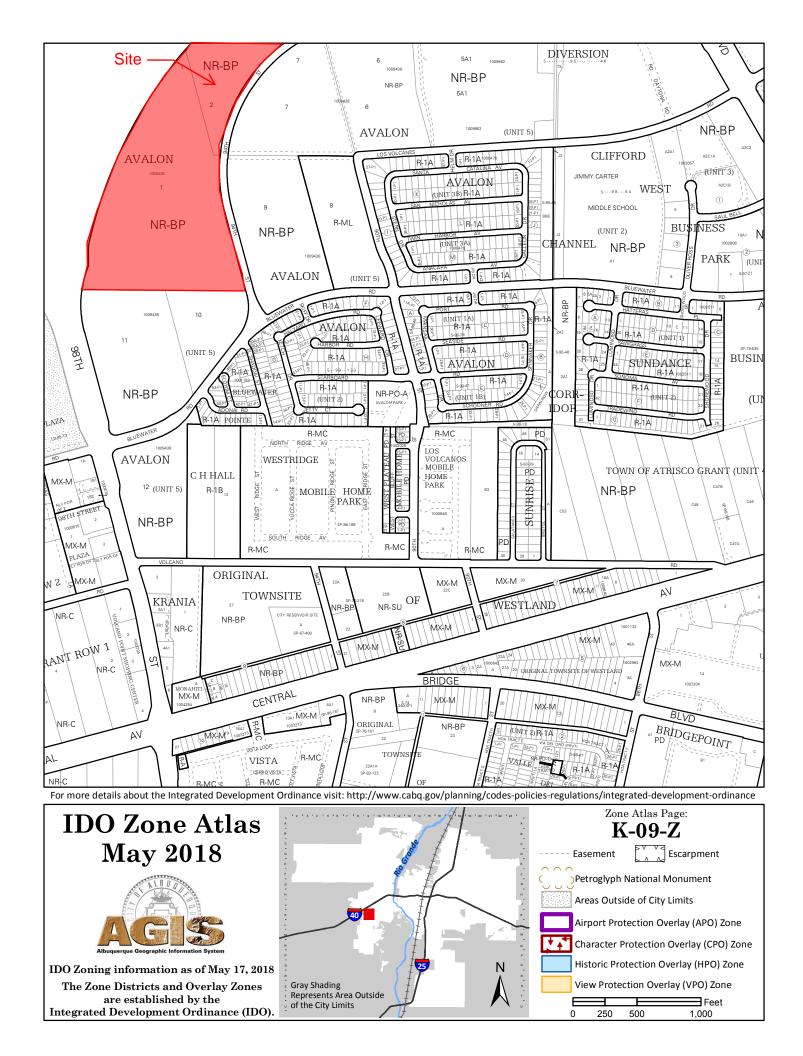
IDO Interactive Map

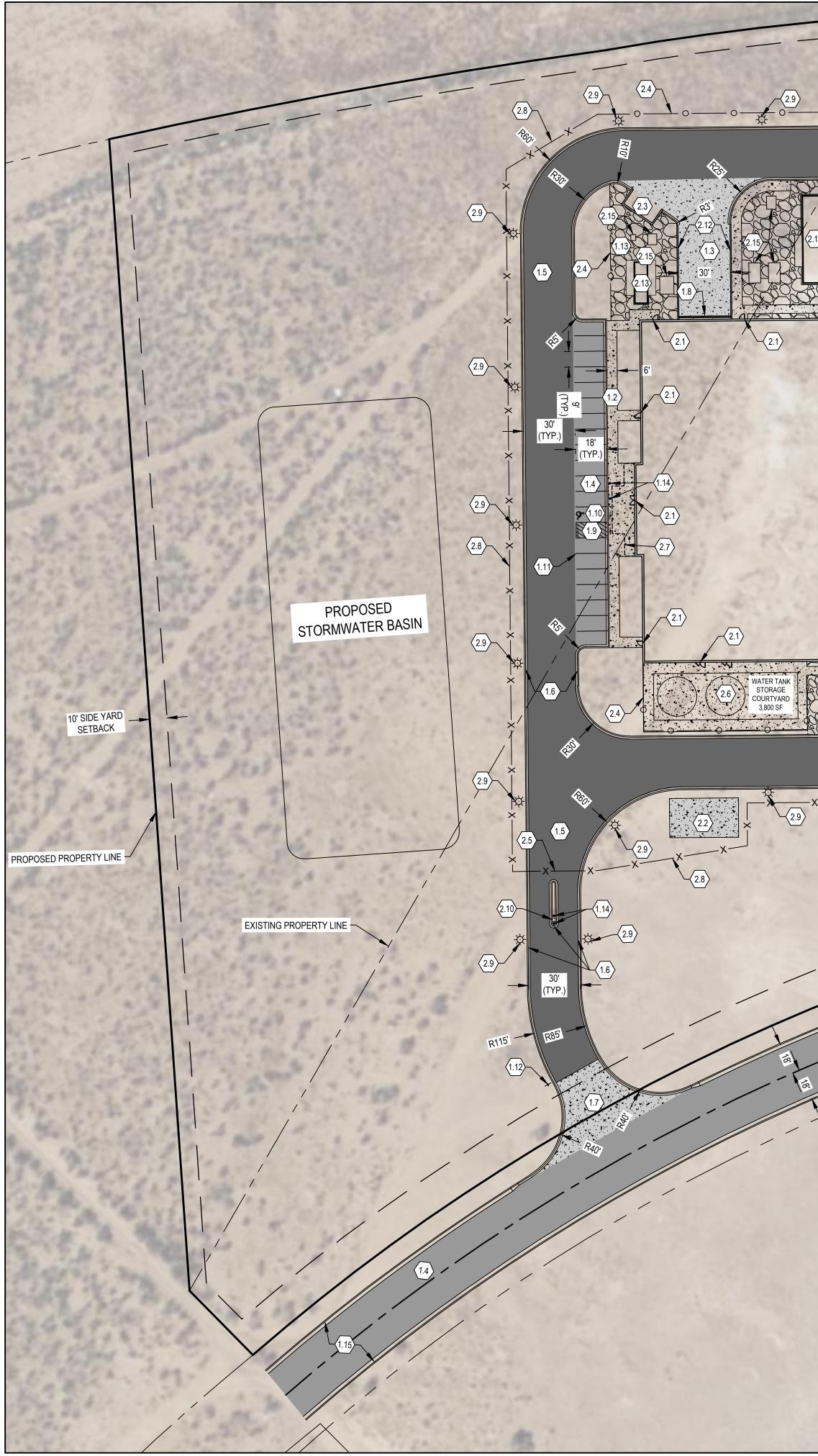
https://tinyurl.com/IDOzoningmap

Cc: South West Alliance of Neighborhoods [Other Neighborhood Associations, if any] (SWAN Coalition)

⁶ Available here: https://tinurl.com/idozoningmap

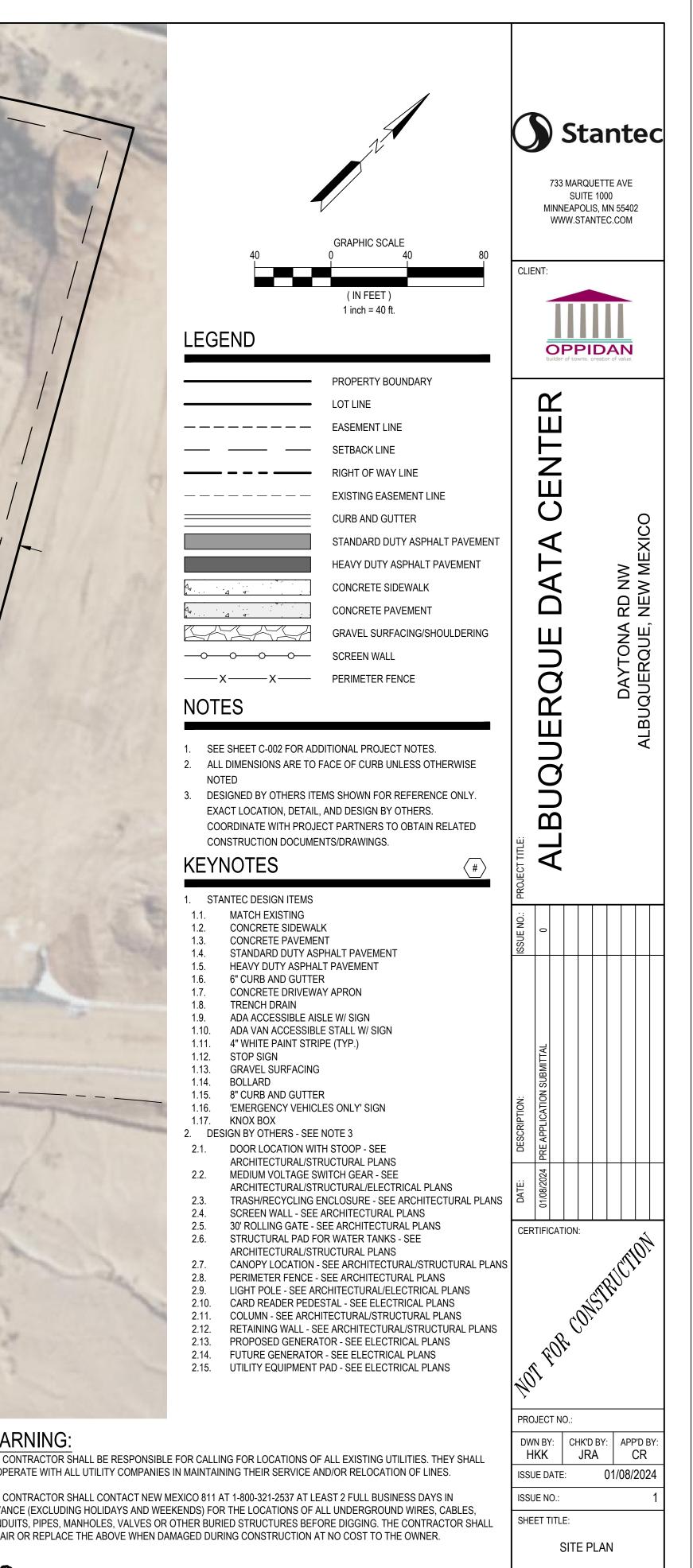






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SHEET NO .: C-101



January 18, 2024

Luis Hernandez Jr., <u>luis@wccdg.org</u> Jerry Gallegos, jgallegoswccdg@gmail.com South West Alliance of Neighborhoods (SWAN Coalition)

Re: Neighborhood Meeting Offer for Future Development Application Administrative Site Plan – DFT for 90,000 Data Center Minor Lot Subdivision

Dear Mr. Hernandez and Gallegos,

The purpose of this letter is to offer you an opportunity to discuss the proposal of a single-story, data center on the 7.98-acre parcel (Tract 2-A, Avalon Subdivision Unit 5) along Daytona Road NW in Albuquerque, NM.

Dekker/Perich/Sabatini, agent for Oppidan Holdings, LLC, is seeking for a Minor Subdivision and Site Plan approval to facilitate a 90,000 SF Data Center within the Westpointe 40 Industrial Park.

The building will be approximately 90,000 SF and will be 36' tall to the top of parapet, and 32' to the top of the roof. The data center will have an exterior generator yard, that will be screened from view from the public right-of way, as well as screened exterior water tanks. The construction materials will be painted precast concrete, and the elevation facing southwest will be the main building entrance.

The site plan will have an entrance drive from Daytona Road NW with 20 parking stalls. The project includes an access road that loops around the building for site circulation and fire access. The building has two at grade drive in accesses on the northeastern side and a recessed loading dock on the northwest. The project will provide stormwater management per City requirements for water quality treatment. Sanitary and water service will be provided via the extended public mains along Daytona Road NW. A looped watermain around the building will be provided for hydrant coverage.

The facility will have less than 15 cars and trucks on site at any time, at full build out. Typical operations for the facility will include a single, 24-hour security person, seven days a week. There will be a day shift of 3-4 engineers, with sporadic daily traffic for software and IT network related operations staff. It is not anticipated that on-site employees will exceed 10-12 persons during any peak period. There will be fewer employees on site during evenings and weekends. Additional usage of the facility will include maintenance for mechanical units as needed but at least on a monthly basis using standard service vehicles. It is expected that the facility will see one to two deliveries per day.

The project schedule: begin site work in fall 2024, complete the building shell by spring of 2026, and full occupancy and operations by summer *I* fall 2026.

This letter is to offer you an opportunity to have a neighborhood meeting to discuss two City approvals that the owner intends to request:

- A Minor Lot Subdivision for lot line adjustment of an existing tract to increase it to approximately 11 acres.
- A Site Plan approval from the Development Facilitation Team to facilitate an approximately 90,000 SF Data Center.



In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss this request.

If you would like to schedule a Neighborhood Meeting to discuss this matter, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Thursday, February 8, 2024, at 505-967-9600 or by email at JessicaL@dpsdesign.org.

Enclosed you will find a preliminary, conceptual site plan indicating the proposed data center. Please note that this site plan is in the early design stages and subject to change. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the appropriate hearings at which time the application will be reviewed and decided on by the City of Albuquerque. The finalized site plan will be sent with the notification for the DFT action, anticipated in the Spring of 2024. As noted above, there may be multiple submittals to the City; we will follow all applicable City guidelines for notification, and we are available to help answer questions that you may have about this project.

Sincerely,

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Jessica Lawlis, AICP Urban Planning Studio Manager, Dekker Perish Sabatini, Agent for Oppidan Holdings.

Attachments: Required COA Notice Form, Zone Atlas Map, and Preliminary Conceptual Site Plan.

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: January 18, 2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) <u>Subsection 14-16-6-4(K) Public Notice</u> to:

Neighborhood Association (NA)*: South West Alliance of Neighborhoods (SWAN Coalition)

Name of NA Representative*: Luis Hernandez Jr. and Jerry Gallegos

Email Address* or Mailing Address* of NA Representative¹: <u>luis@wccdg.org</u> jgallegoswccdg@gmail.com The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: _____

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)

- Subject Property Address* <u>9304 SILICA AVE NW</u>
 Location Description <u>Parcel on Daytona Rd, near 98th & I-40, see attached zone atlas map.</u>
- 2. Property Owner* 98TH & I-40 LAND LLC
- 3. Agent/Applicant* [if applicable] Dekker Perich Sabatini, Jessica Lawlis
- 4. Application(s) Type* per IDO <u>Table 6-1-1</u> [mark all that apply]
 - □ Conditional Use Approval
 - Permit ______ (Carport or Wall/Fence Major)
 - 🕱 Site Plan
 - X Subdivision Minor (Minor or Major)

¹ Pursuant to <u>IDO Subsection 14-16-6-4(K)(5)(a)</u>, email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

- □ Vacation ______ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- □ Zoning Map Amendment
- □ Other:

Summary of project/request^{3*}:

Sketch Plat / Plan Review for Minor Lot Subdivision for lot line adjustment of an existing tract to support the proposed project. Oppidan Holdings, LLC proposes to construct a ~90,000 SF 10MW Data Center with a 6,800 SF office component. The project will include ground mounted mechanical units, parking, perimeter access roads, utilities, stormwater management, and appurtenances. The facility will be encompassed by a security fence with gate.

| 5. | This type of application will be decided by*: | □ City Staff | | | |
|--------|---|---|--|--|--|
| | OR at a public meeting or hearing by: | Development Facilitation Team | | | |
| | Zoning Hearing Examiner (ZHE) | X Development Review Board (DRB) | | | |
| | Landmarks Commission (LC) | Environmental Planning Commission (EPC) | | | |
| | City Council | | | | |
| 6. | Where more information about the project can be found*4: By contacting agent, Jessica Lawlis at jessical@dpsdesign.org or at (505)761-9700 | | | | |
| Projec | t Information Required for Mail/Email Not | ice by <u>IDO Subsection 6-4(K)(1)(b)</u> : | | | |
| 1. | Zone Atlas Page(s)* ⁵ J-9 and K-9 | | | | |
| 2. | . Architectural drawings, elevations of the proposed building(s) or other illustrations of the | | | | |
| | proposed application, as relevant*: <u>Attached</u> | to notice or provided via website noted above | | | |
| 3. | 3. The following exceptions to IDO standards will be requested for this project*: | | | | |
| | Deviation(s) Variance(s) | □ Waiver(s) | | | |
| | Explanation: | | | | |
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4. An offer of a Pre-submittal Neighborhood Meeting is required by <u>Table 6-1-1</u>*: X Yes \Box No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <u>http://data.cabq.gov/business/zoneatlas/</u>

- 5. *For Site Plan Applications only**, attach site plan showing, at a minimum:
 - X a. Location of proposed buildings and landscape areas.*
 - X b. Access and circulation for vehicles and pedestrians.*
 - X c. Maximum height of any proposed structures, with building elevations.*
 - □ d. For residential development*: Maximum number of proposed dwelling units.
 - Q e. For non-residential development*:
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 - X Gross floor area for each proposed use.

Additional Information:

- From the IDO Zoning Map⁶: a. Area of Property [typically in acres] approximately 11 ac.
 - b. IDO Zone District <u>Non-Residential Business Park (NR-BP)</u>
 - c. Overlay Zone(s) [if applicable] NA
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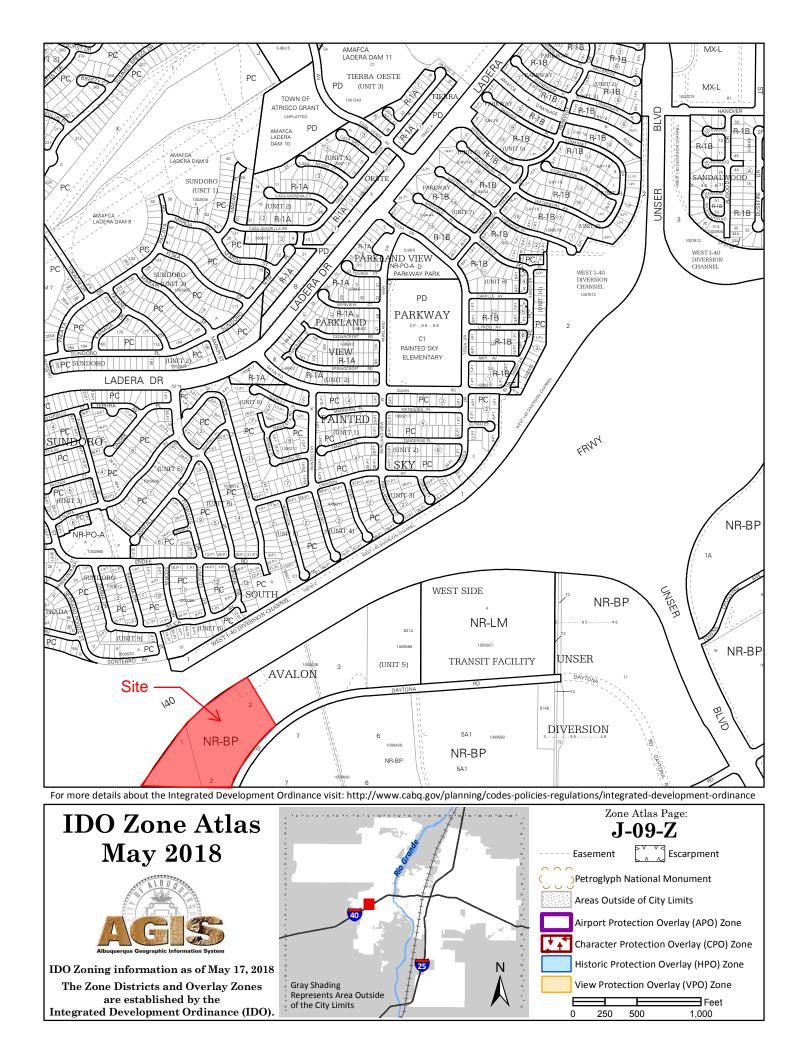
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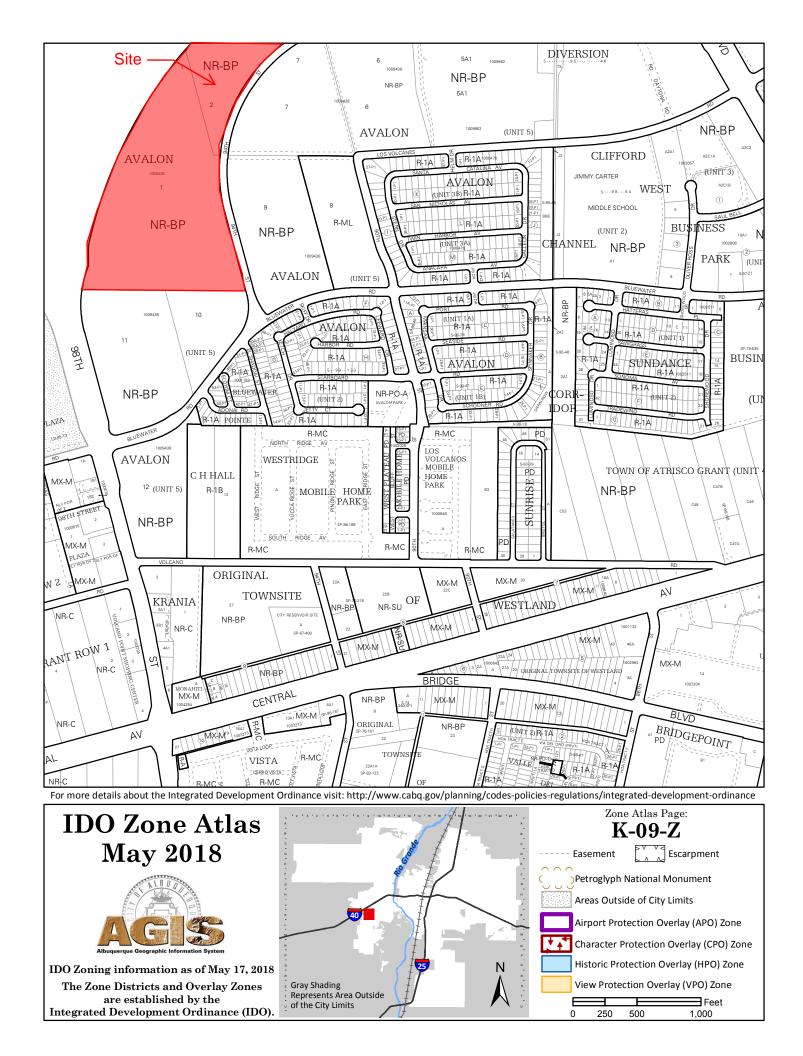
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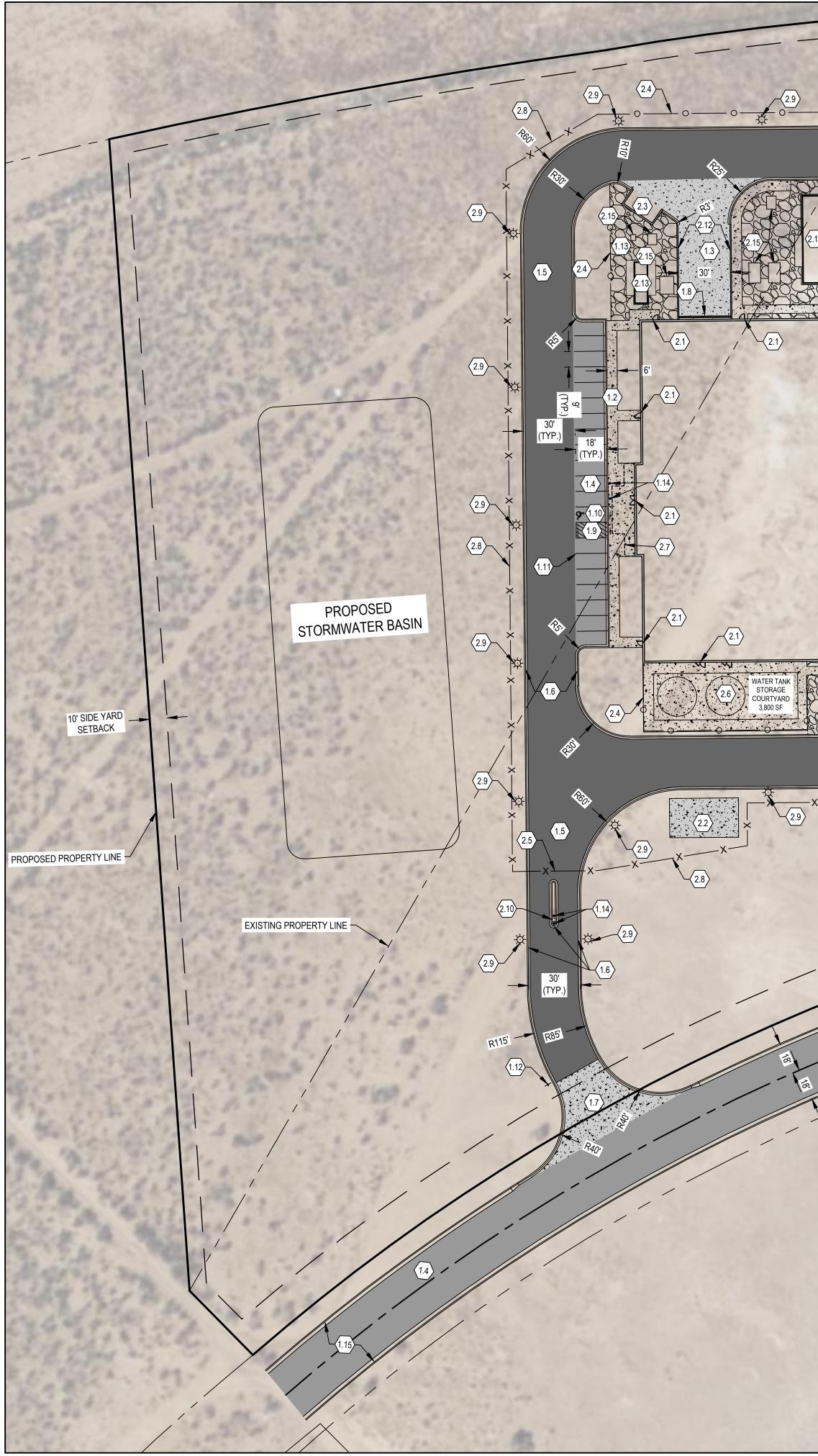
Cc: Avalon NA

_____ [Other Neighborhood Associations, if any]

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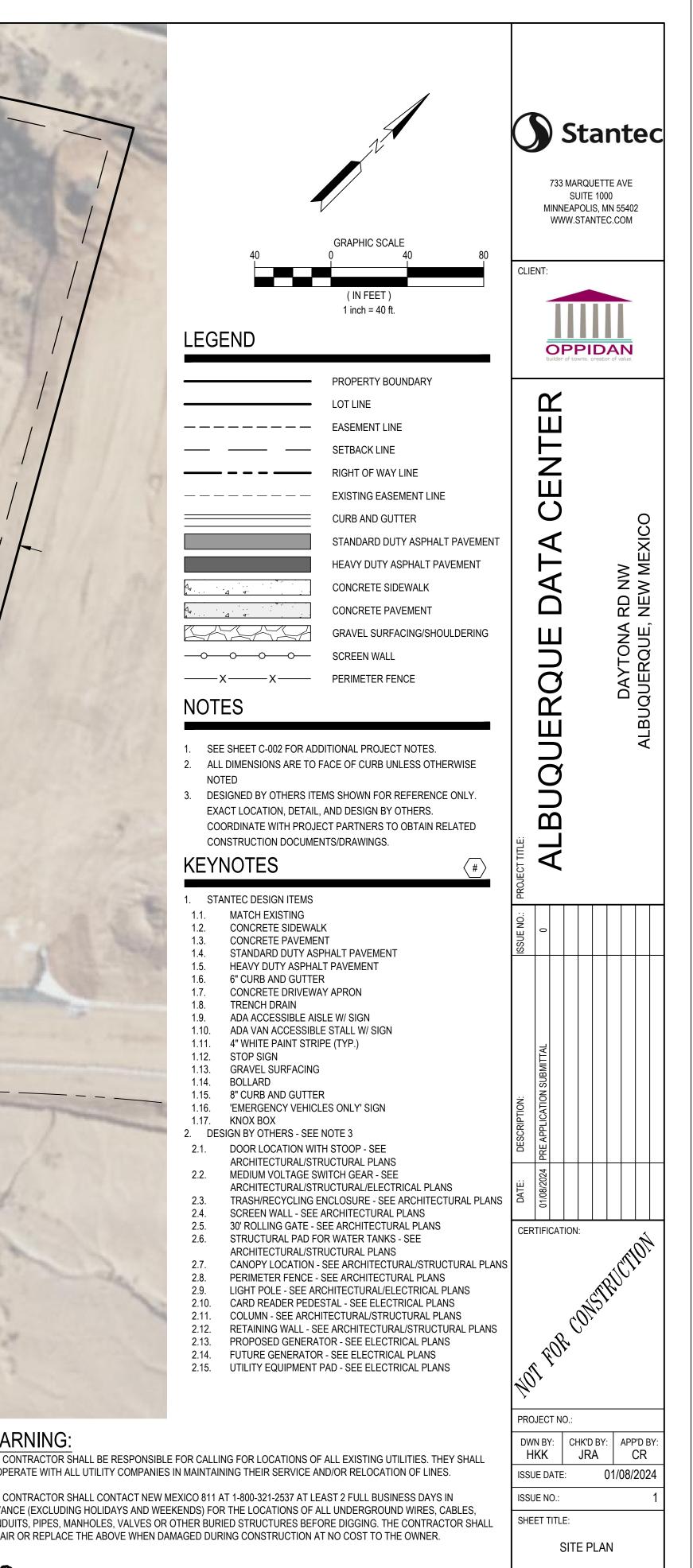






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SHEET NO .: C-101